



TO: ADA COUNTY PLANNING & ZONING COMMISSION

HEARING DATE: December 10, 2015

STAFF: Diana Sanders, Associate Planner

PROJECT NO.: 201503799 CU-MSP

APPLICANT: TS SB LLC

INTRODUCTION

A self-storage facility with 555 enclosed storage units and 64 RV covered parking units. There will be an approximately 600 sq. ft. office at the entrance. A sign is proposed on the northwest corner of the property. The property contains 6.14 acres and is located at 6400 S. Maple Grove Road, Section 1, T.2N, R.1E.

EXECUTIVE SUMMARY

The project consists of fifteen (15) structures accommodating 555 enclosed storage units and 64 RV covered parking units. Design of the self-storage facility has arranged to screen the interior of the subject property from surrounding subdivisions and the adjacent public right-of-way. The applicant proposes a total of three (3) parking spaces. Landscaping, lighting and signage are addressed on the site plan.

City sewer and water services will be available on-site from existing service lines maintained by Boise City Public Works and United Water. ACHD is requiring construction of one 40 foot wide driveway onto Maple Grove Road and two 25 foot emergency access driveways restricted to emergency access only.

At the time this staff report was written the following agencies provided comments: will require a building permit and plans including a complete code analysis from a licensed architect; The Ada County Engineer will require a drainage study and plan be submitted, documentation from the local fire district for final construction, compliance with EPA, and a final inspection; ACHD has commented on the applicant's proposal; and Boise City Public Works Department is requiring a waiver of the current sewer extension policy and connecting to the existing City Sewer, and Boise City Council recommendations of approval be adopted. City of Boise has no objections to the project and stated it is in compliance with the Boise Comprehensive Plan.

No comments from surrounding properties have been received thus far.

RECOMMENDATION

Based upon Staff's review of the application, staff concludes that this application complies with the Ada County Code and recommends approval to the Commission as set out in the proposed Findings of Fact and Conclusions of Law attached hereto.

The Commission should consider the evidence and testimony presented during the public hearing prior to rendering its decision concerning this application.

EXHIBIT LIST – PROJECT NO.: 201503799 CU-MSP

- 1 Master Application and checklist (9 pages)
- 2 Applicant's Detailed Letter (2 pages)
- 3 Site Plan (2 pages)
- 4 Historical Letter (1 page)
- 5 Idaho Fish & Game email (2 pages)
- 6 Lighting (4 pages)
- 7 Landscape plan (3 pages)
- 8 Natural Features (3 pages)
- 9 Elevations (1 page)
- 10 Signs (3 pages)
- 11 Pre-application notes (4 pages)
- 12 Ada County Building Official comment received October 23, 2015 (1 page)
- 13 Ada County Engineer comment received October 29, 2015 (1 page)
- 14 Boise City Public Works Department comment received October 29, 2015 (1 page)
- 15 ACHD comment received November 9, 2015 (6 pages)
- 16 Central District Health Department comment dated October 10, 2015 (1 page)
- 17 City of Boise comment received November 20, 2015 (2 pages)



MASTER APPLICATION/PETITION REQUEST

ADA COUNTY DEVELOPMENT SERVICES

200 W. Front Street, Boise, Idaho 83702. www.adaweb.net phone: (208) 287-7900 fax: (208) 287-7909

TYPE OF ADMINISTRATIVE APPLICATION:

- ACCESSORY USE*
- FARM DEVELOPMENT RIGHT
- FLOODPLAIN PERMIT
- HILLSIDE DEVELOPMENT*
- HIDDEN SPRINGS ADMINISTRATIVE
- HIDDEN SPRINGS SPECIAL EVENT
- LIGHTING PLAN
- LANDSCAPE PLAN
- DRAINAGE PLAN
- MASTER SITE PLAN*
- EXPANSION NONCONFORMING USE
- ONE TIME DIVISION
- PRIVATE ROAD
- PROPERTY BOUNDARY ADJUSTMENT
- PLANNED UNIT DEVELOPMENT (PUD)
- SIGN PLAN
- TEMPORARY USE*

TYPE OF HEARING LEVEL APPLICATION:

- CONDITIONAL USE
- DEVELOPMENT AGREEMENT
- SUBDIVISION, PRELIMINARY*
- PLANNED COMMUNITIES*
- SUBDIVISION, SKETCH PLAT*
- VACATION
- VARIANCE
- ZONING MAP AMENDMENT
- ZONING TEXT AMENDMENT

TYPE OF HEARING LEVEL PETITION:

- COMPREHENSIVE PLAN MAP OR TEXT AMENDMENT PETITION CHECKLIST

TYPE OF ADDENDA:

- APPEAL
- ADMINISTRATIVE MODIFICATION
- DEVELOPMENT AGREEMENT MODIFICATION
- FINAL PLAT
- TIME EXTENSION

REQUIRED SUBMITTALS:

- CHECKLIST for applicable application(s). If multiple applications, do not duplicate submittals.
- *SUPPLEMENTAL WORKSHEET REQUIRED

SITE INFORMATION:

Section: 1 Township: 2N Range: 1E Total Acres: 6.14
 Subdivision Name: Moonridge No.12 Lot: 33,34 Block: 10
 Site Address: 6400 S. Maple Grove City: _____
 Tax Parcel Number(s): R57938440340
 Existing Zoning: LO Proposed Zoning: N/A Area of City Impact: Boise Overlay _____
 District(s) Southwest Boise

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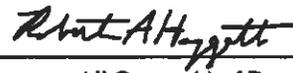
OCT 21 2015

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OFFICE USE ONLY

Project #: <u>201503799-CU-MSP-</u>	Planning Fees/GIS:	Engineering Fees:
Received By: <u>BSP</u> Date: <u>10-21-15</u> Stamped <input checked="" type="checkbox"/>	<u>\$ 29,213⁰⁰</u>	

APPLICANT/AGENT: (Please print)	ADDITIONAL CONTACT if applicable: (Please Print)
Name: <u>Catherine Sewell</u>	Name: <u>Robert Haggett</u>
Address: <u>1008 S. Johnson St.</u>	Address: <u>1865 East Sendero Lane</u>
City: <u>Boise</u> State: <u>ID</u> Zip: <u>83705</u>	City: <u>Boise</u> State: <u>ID</u> Zip: <u>83712</u>
Telephone: <u>208 891 9082</u> Fax: <u>208 343 6489</u>	Telephone: <u>208 870 0710</u> Fax: _____
Email: <u>csewell@platformarch.com</u>	Email: <u>rhaggett@yahoo.com</u>
I certify this information is correct to the best of my knowledge.	ENGINEER / SURVEYOR if applicable: (Please Print)
	Name: <u>Scott Wonders/J-U-B Engineers</u>
<u>September 11, 2015</u>	Address: <u>250 S. Beechwood, Suite 201</u>
Signature: (Applicant)	City: <u>Boise</u> State: <u>ID</u> Zip: <u>83709</u>
Date	Telephone: <u>208 376 7330</u> Fax: <u>208 860 1623</u>
	Email: <u>swonders@jub.com</u>

OWNER (S) OF RECORD: (Please Print)	OWNER (S) OF RECORD: (Please Print)
Name: <u>TS SB LLC</u>	Name: _____
Address: <u>1865 East Sendero Lane</u>	Address: _____
City: <u>Boise</u> State: <u>ID</u> Zip: <u>83712</u>	City: _____ State: _____ Zip: _____
Telephone: <u>208-870-0710</u>	Telephone: _____
Fax: _____	Fax: _____
Email: <u>rhaggett@yahoo.com</u>	Email: _____
I consent to this application, I certify this information is correct, and allow Development Services staff to enter the property for related site inspections. I agree to indemnify, defend and hold Ada County and its employees harmless from any claim or liability resulting from any dispute as to the statements contained in this application or as to the ownership of the property, which is the subject of the application.	I consent to this application, I certify this information is correct, and allow Development Services staff to enter the property for related site inspections. I agree to indemnify, defend and hold Ada County and its employees harmless from any claim or liability resulting from any dispute as to the statements contained in this application or as to the ownership of the property, which is the subject of the application.
 <u>9/11/15</u>	 <u>9/11/15</u>
Signature: All Owner (s) of Record	Signature: All Owner (s) of Record
Date	Date

ALL OWNER(S) OF RECORD (ON THE CURRENT DEED) MUST SIGN (Additional Sheets are Available Online)

If the property owner(s) are a business entity, please include business entity documents, including those that indicate the person(s) who are eligible to sign documents.

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MASTER SITE PLAN CHECKLIST (ACC 8-4D)

A Master Site Plan request does not require a public hearing. It is a staff level application, as long as it is not associated with a conditional use.

GENERAL INFORMATION:

Applicant	DESCRIPTION	Staff
✓	One paper copy and one electronic copy of all required submittals.	
✓	Completed and signed Master Application.	
✓	Completed Supplemental Information.	
✓	DETAILED LETTER by the applicant fully describing the request or project and address the information on supplemental sheet;	
✓	DEED or evidence of proprietary interest.	✓
✓	IDAHO DEPARTMENT OF FISH AND GAME LETTER.	✓
✓	FULL SIZE SCALED PLOT PLAN, showing all existing and proposed easements, property lines, and structures drawn to scale, including one electronic copy and one copy reduced to 8 1/2 X 11. (Address required information on supplemental sheet)	✓
✓	FULL SIZE NATURAL FEATURES ANALYSIS ACC 8-4E-4D, including one electronic copy and one copy reduced to 8 1/2 X 11. (Address required information on supplemental sheet)	✓
✓	LANDSCAPING (ACC 8-4F) (Address required information on supplemental sheet) One electronic copy, one full size, and one 8 1/2 X 11 copy.	✓
✓	Drawn by a landscape professional. (within an area of impact)	✓
✓	OFF STREET PARKING & LOADING FACILITIES (ACC 8-4G) (Address required information on supplemental sheet)	✓
✓	LIGHTING (ACC 8-4H) (Address required information on supplemental sheet)	✓
✓	SIGN PLAN (ACC 8-4I)	
✓	Indicate all proposed and existing signs.	
✓	NATURAL FEATURES ANALYSIS (ACC 8-4E-4D) see supplemental info.	✓
✓	OVERLAY DISTRICT: May require a separate checklist or additional information for the following:	
✓	HILLSIDE DEVELOPMENT (ACC 8-3H)	
	FLOOD HAZARD (ACC 8-3F)	
	WILDLAND-URBAN FIRE INTERFACE (ACC 8-3B)	
✓	SOUTHWEST PLANNING AREA (ACC 8-3C)	
	PLANNED UNIT DEVELOPMENT (ACC 8-3D)	
	BOISE RIVER GREENWAY (ACC 8-3G)	
	BOISE AIR TERMINAL AIRPORT INFLUENCE AREAS (ACC 8-3A)	
APPLICATION FEE: Call County or go to www.adaweb.net for fees		

Supplementary information at the discretion of the Director or County Engineer may be required to sufficiently detail the proposed development within any special development area, including but not limited to hillside, planned unit development, floodplain, southwest, WUFI, Boise River Greenway, airport influence, and/or hazardous or unique areas of development.

APPLICATION WILL NOT BE ACCEPTED UNLESS ALL APPLICABLE ITEMS ON THE FORM ARE SUBMITTED.

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MSP SUPPLEMENTAL INFORMATION (to be completed by the applicant)	
DETAILED LETTER MUST ADDRESS THE FOLLOWING (If applicable)	
✓	Proposed use (s): <i>SELF STORAGE</i>
✓	Is the project associated with a Conditional Use YES (X) NO ()
✓	Conditional Use #
✓	Area of city impact: <i>SOUTHWEST</i>
✓	Is this application a modification of an approved master site plan? Original MSP # <i>NO</i>
✓	Is this application a change or expansion of an approved master site plan? Original MSP # <i>NO</i>
✓	Total square feet of all proposed structures: <i>PHASE 1: 67,525, PHASE 2: 52,885</i>
✓	Hours of operation: <i>7AM-10PM</i>
✓	Days of operation: <i>7 DAYS A WEEK</i>
✓	Required parking: <i>1</i>
✓	Required bicycle parking: <i>0</i>
✓	Required ADA parking: <i>1</i>
✓	Number of employees during the largest shift: <i>1</i>
✓	Maximum number of patrons expected: <i>N/A</i>
✓	Outdoor speaker system YES () NO (X)
✓	Proposed Sewer: <i>CONNECT TO EXISTING</i>
✓	Proposed Water: <i>UNITED WATER</i>
✓	Pressurized Irrigation YES (X) NO ()
✓	Multifamily structures shall have varied setbacks within the same structure and staggered and/or reversed unit plans. Structures within a multi-family development shall be rotated, staggered, and/or reversed. <i>N/A</i>
✓	Explain if the utilities are underground or if screening is provided. <i>N/A</i>
SITE PLAN	
✓	Structure location.
✓	Pedestrian access and circulation.
✓	Building elevations.
✓	Well locations. <i>N/A</i>
✓	Drain fields. <i>N/A</i>
✓	Hydrant location, fire department access, fire flow resources, etc.
✓	Pressurized Irrigation if required.
✓	Parking plan. (required) ACC 8-4G
✓	ADA parking identified.
✓	Automobile access and circulation.
✓	Lighting plan. (condition of approval) ACC 8-4H
✓	Sign Plan. (If proposed, condition of approval) ACC 8-4I
LANDSCAPING (If applicable)	
✓	Location, size, type, 75% maturity
✓	Vegetation to be saved YES () NO (X)
✓	Phased project YES (X) NO ()
✓	Verification that standards are met.
✓	Fences over 100' YES (X) NO ()
✓	Size at planting: <i>VARIES</i>
✓	Flood Hazard Overlay YES () NO (X)
✓	Sound walls YES (X) NO ()

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✓	Outdoor speakers	YES () NO (X)
✓	Perimeter Landscaping & Screening	MAPLE GROVE
✓	Required landscape points:	720
✓	Minimum landscape width:	720 10'-0"
✓	Parking Area Landscaping & Screening	N/A
✓	% of Shading required:	N/A
✓	Screening	YES () NO (X)
✓	Pedestrian access required	YES (X) NO ()
PARKING		
✓	Identify all off street parking and loading.	
✓	Phased project	YES (X) NO () NOT PARKING THOUGHT
✓	Restrictions on use	YES () NO (X)
✓	Within 300' of the entrance:	YES (X) NO ()
✓	Joint Parking Agreement (Submit copy)	YES () NO (X)
✓	Identify width, angle, and depth of parking spaces.	
✓	Address Bicycle Parking.	N/A
✓	List the number of required spaces for cars, bikes:	1
✓	List the number of off street loading spaces:	N/A
✓	List dimensions of off street loading spaces:	N/A
✓	Detailed description of proposed paving materials.	
LIGHTING (If applicable)		
✓	Setbacks of the proposed lights:	N/A
✓	Maximum Height:	BUILDING WALL 12'-14'
✓	Floodlights	YES () NO (X)
✓	Shielding	YES (X) NO ()
NATURAL FEATURES ANALYSIS		
✓	HYDROLOGY ACC 8-4E-4D1	
✓	SOILS ACC 8-4E-4D2	
✓	TOPOGRAPHY ACC 8-4E-4D3	
✓	VEGETATION ACC 8-4E-4D4	
✓	SENSITIVE PLANT AND WILDLIFE SPECIES ACC 8-4E-4D5	
✓	HISTORIC RESOURCES ACC 9-4E-4D6	
✓	HAZARDOUS AREAS ACC 8-4E-4D7	
✓	IMPACT ON NATURAL FEATURES ACC 8-4E-4D8	

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CONDITIONAL USE CHECKLIST

A Conditional Use request requires a public hearing.

GENERAL INFORMATION:

Applicant	DESCRIPTION	Staff
✓	One paper copy and one electronic copy of all required submittals.	
✓	Completed and signed Master Application	
✓	DETAILED LETTER by the applicant fully describing the request or project and addressing the following:	
	✓ Explain the proposed use, and all uses associated with the request.	
	✓ Any other supporting information.	
	✓ Address the standards in ACC 8-5-3 for proposed use(s):	
	✓ Days of use:	
	✓ Hours of use:	
	✓ Duration of use(s):	
✓	MASTER SITE PLAN (If required)	
✓	NEIGHBORHOOD MEETING CERTIFICATION	
✓	PRE-APPLICATION CONFERENCE NOTES	
✓	SITE PLAN is not required if associated with a MSP.	
	✓ Show existing and proposed structures.	
	✓ Submit one electronic copy, one full sized plan and one 8 1/2" X 11" plan.	
✓	DEED (or evidence of proprietary interest)	
✓	OVERLAY DISTRICT: May require a separate checklist or additional information for the following:	
	HILLSIDE (ACC 8-3H)	
	FLOOD HAZARD (ACC 8-3F)	
	WILDLAND-URBAN FIRE INTERFACE (ACC 8-3B)	
	✓ SOUTHWEST PLANNING AREA (ACC 8-3C)	
	PLANNED UNIT DEVELOPMENT (ACC 8-3D)	
	BOISE RIVER GREENWAY (ACC 8-3G)	
	BOISE AIR TERMINAL AIRPORT INFLUENCE AREAS (ACC 8-3A)	
✓	MUST COMPLY WITH SIGN POSTING REGULATIONS (ACC 8-7A-5)	
✓	APPLICATION FEE: Call County or go to www.adaweb.net for fees	

Supplementary information at the discretion of the Director or County Engineer may be required to sufficiently detail the proposed development within any special development area, including but not limited to hillside, planned unit development, floodplain, southwest, WUFI, Boise River Greenway, airport influence, and/or hazardous or unique areas of development.

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SIGN PLAN CHECKLIST (ACC 8-4I)

A Sign Plan request does not require a public hearing. It is a staff level application for signs greater than 64 sq. ft.

GENERAL INFORMATION:

Applicant	DESCRIPTION	Staff
✓	One paper copy and one electronic copy of all required submittals.	
✓	Completed and signed Master Application	
✓	DETAILED LETTER by the applicant fully describing the request or project and addressing the following:	
✓	Proposed Sign (s), what type of sign:	
	Business, Building, Multi-use, Single-use, Home, Parking lot, Project, Property, Public, Public Gathering, Subdivision, Non-accessory off premise, Temporary, or non-conforming	
	Business YES (X) NO () Building YES (X) NO ()	
	Multi-Use YES () NO (X) Single-Use YES (X) NO ()	
	Home YES () NO (X) Parking lot YES () NO (X)	
	Project YES () NO (X) Property YES () NO (X)	
	Public YES () NO (X) Public Gathering YES () NO (X)	
	Subdivision YES () NO (X) Temporary YES () NO (X)	
	Non-conforming YES () NO (X) Non-accessory off premise YES () NO (X)	
	Existing Sign (s) YES () NO (X)	
Is the sign along a Interstate or Primary Highway? YES () NO (X)		
Total square feet of sign: <u>142 SF (60SF+42SF)</u>		
	SIGN #1	✓
✓	Off Premise _____ On Premise <u>X</u> Existing Sign _____ Proposed Sign _____	
	Type of Sign:	
	Freestanding <u>X</u> Wall _____ Monument _____	
	Sign Dimensions:	
	Length <u>10'</u> Height <u>6' (20')</u> Square Feet <u>60SF</u>	
	Percent of sign area that is animated: <u>0</u> Type of illumination: <u>BACKLIT</u>	
	SIGN #2	✓
✓	Off Premise _____ On Premise <u>X</u> Existing Sign _____ Proposed Sign _____	
	Type of Sign:	
	Freestanding _____ Wall <u>X</u> Monument _____	
	Sign Dimensions:	
	Length <u>21'</u> Height <u>2'</u> Square Feet <u>42SF</u>	
	Percent of sign area that is animated: <u>0</u> Type of illumination: <u>BACKLIT</u>	
	CONDITIONAL USE: May require a separate checklist for the following:	
	Property zoned RP or RR or Signs extending beyond the overhang of any exterior wall of the building.	NA
✓	SITE PLAN showing all existing and proposed easements, property lines, structures, and placement of sign drawn to scale on 8 1/2" X 11" paper.	✓
✓	Elevations of proposed signs.	✓
✓	DEED or evidence of proprietary interest.	✓
✓	APPLICATION FEE: Call County or go to www.adaweb.net for fees	

APPLICATION WILL NOT BE ACCEPTED UNLESS ALL APPLICABLE ITEMS ON THE FORMS ARE SUBMITTED.

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LANDSCAPING CHECKLIST (ACC 8-4F)

GENERAL INFORMATION:

Applicant	DESCRIPTION	Staff
<input checked="" type="checkbox"/>	Completed and signed Master Application.	<input checked="" type="checkbox"/>
	address the information on supplemental sheet;	
	Proposed use (s).	
	DEED or evidence of proprietary interest.	<input checked="" type="checkbox"/>
LANDSCAPING		
	LANDSCAPING One electronic copy, one full size, and one 8 1/2 X11 copy.	
	Drawn by a landscape professional. (within an area of impact)	<input checked="" type="checkbox"/>
	Location, size, type, 75% maturity	
	Vegetation to be saved YES () NO (X)	
	Phased project YES (X) NO ()	
	Verification that standards are met.	
	Fences over 100' YES () NO (X)	
	Size at planting: _____	
	Flood Hazard Overlay YES () NO ()	
	Sound walls YES (X) NO ()	
	Outdoor speakers YES () NO (X)	
	Perimeter Landscaping & Screening	
	Required landscape points: _____	
	Minimum landscape width: _____	
	Parking Area Landscaping & Screening	
	% of Shading required: _____	
	Screening YES (X) NO ()	
	Pedestrian access required YES (X) NO ()	
	OVERLAY DISTRICT: May require a separate checklist or additional information for the	
	HILLSIDE DEVELOPMENT (ACC 8-3H)	
	FLOOD HAZARD (ACC 8-3F)	
	WILDLAND-URBAN FIRE INTERFACE (ACC 8-3B)	
	SOUTHWEST PLANNING AREA (ACC 8-3C)	
	PLANNED UNIT DEVELOPMENT (ACC 8-3D)	
	BOISE RIVER GREENWAY (ACC 8-3G)	
	BOISE AIR TERMINAL AIRPORT INFLUENCE AREAS (ACC 8-3A)	
	APPLICATION FEE: Call County or go to www.adaweb.net for fees	

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LIGHTING CHECKLIST (ACC 8-4H)

GENERAL INFORMATION:

Applicant	DESCRIPTION	Staff
<input checked="" type="checkbox"/>	Completed and signed Master Application.	<input checked="" type="checkbox"/>
	address the information on supplemental sheet;	
	Proposed use (s).	
	DEED or evidence of proprietary interest.	✓
LIGHTING		
	Site plan indication the location of lighting.	X
	Detail the type of lighting.	X
	Identify orientation of lighting.	✓
	Setbacks of the proposed lights:	Y
	Illumination of lighting:	
	Watts:	
	Lumens output.	
	Lumination area.	
	Photometric test report.	X
	Maximum Height: 12'	
	Floodlights YES () NO (X)	
	Extent of shielding including cut off angles.	
	Details of display and security lighting.	NA
	Details of the electrical feed.	
	Details of neon illumination.	NA
APPLICATION FEE: Call County or go to www.adaweb.net for fees		

See report
"
"

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ADA COUNTY
DEVELOPMENT SERVICES

28 September 2015

Development Services
Ada County
County Courthouse
200 W. Front
Boise, ID 83702

Re: Conditional Use and Master Site Plan Review Application Submittal for
Trust Storage – South Boise, 6400 S. Maple Grove Rd.

Dear Planning Staff,

Platform is pleased to submit the above referenced project to the Ada County for Conditional Use Approval for the proposed self-service storage facility.

The proposed project is located at 6400 S. Maple Grove Road in an L-O Zone. The proposed self-service storage facility is situated on 6.14 acres and abuts an irrigation ditch and vacant parcel to the north; Maple Grove Road to the west; residential development to the east; and primarily undeveloped land to the south (owned by Qwest Corporation). The proposed project involves the construction of multiple buildings, vehicle access driveways which will ultimately add 555 new enclosed storage units, 64 RV covered parking units. The project is proposed to be phased with the intent for Phase 1 to include construction of 9 buildings/420 units, associated drive aisles, storm drainage system and perimeter landscaping. A wall and pylon sign will be located at the northwest corner of the property.

ACC 8-5-3-108: STORAGE FACILITY

We have reviewed Article 8-5-3-108 of the Ada County Code and believe we are in compliance with the relevant sections applicable to the project.

- The facility will be open seven days a week with operating hours from seven o'clock (7:00) A.M. to ten o'clock (10:00) P.M.
- There is no outdoor open parking or storage.
- The south and east property lines abut residential districts. The proposed setback along the south property line is 10'-0" which will require a sound reduction wall. This would be constructed as part of the Phase II development. The proposed setback along the east property line is 20'-0" which complies with code.

MASTER SITE PLAN:

We have reviewed Article 8-4E of the Ada County Code and believe we are in compliance with the relevant sections applicable to the project.

- The natural features analysis did not indicate any conditions that would prevent the property from being developed as proposed.
- Parking required for the proposed use is one stall per entrance to the site. There is one entrance to the site with two proposed emergency vehicle access locations along S. Maple Grove. Three parking stalls are proposed, one of which will be an accessible stall with aisle. Due to the intended use, no bicycle parking is provided.
- Subject property is within the Southwest Planning Area. Per ACC 8-3C, the project will be connected to the existing public water and sewer services. We have discussed this project with Boise City Planning Staff and they have no issues with the proposed development.
- The building walls along Maple Grove will exceed 100 feet in length. Per 8-4F-4, Item E, portions of the

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EXHIBIT 2
201503799 CU-MSP
TSB LLC

wall panels have been offset as well as alternating panel pattern to provide modulation and interest along the roadway. Additional landscaping and berming, beyond the minimum point requirements, has also been incorporated into the overall design along the roadway.

ALTERNATE COMPLIANCE:

We are requesting an Alternate Compliance in regard 8-4F-6: PERIMETER LANDSCAPING AND SCREENING STANDARDS requirements as follows:

- **East Property Line:**
The east property line borders a residential development and is fully screened from the proposed storage facility with a 6' high solid vinyl fence. The proposed project requires a 20' setback along this property line. As proposed, a portion of this setback area will be constructed as a drain rock infiltration basin associated with the storm drainage for the roof run-off of the storage buildings. Landscaping will consist of trees and rock mulch ground cover. We believe the trees, once mature and grown, will benefit the residential development, whereas vegetative ground cover would not benefit either property as it would not be seen due to the existing vinyl fencing and building walls.
- **South Property Line:**
The south property line abuts a residential zone (RSW) owned by Qwest Communications. The parcel is primarily undeveloped with the exception of the Qwest Communications building. As proposed, a portion of the 10'-0" setback area will be constructed as a drain rock infiltration basin associated with the storm drainage for the roof run-off of the storage buildings (constructed as part of Phase II). The remaining setback area will be left undeveloped until which time the adjacent property is developed. We would propose to coordinate the landscaping along this area with the adjacent development owner.
- **North Property Line:**
The north property line abuts a C1 zone and public utilities irrigation easement. Currently this north parcel is for sale by the owners of the subject property. It is anticipated that with the sale of this adjacent parcel and anticipated development that perimeter landscaping improvements will be required. As proposed, a portion of the 10' setback area will be constructed as a drain rock infiltration basin associated with the storm drainage for the roof run-off of the adjacent storage buildings. The remaining setback area will be left undeveloped until which time the adjacent property is developed. We would propose to coordinate the landscaping along this area with the adjacent development owner.

We believe granting the approval of the alternate compliance meets the intent of the article in providing for landscaping once developments to the north and south are proposed and permitted. Full compliance with the article requirements along the east would be ineffective and provide no benefit to either development. Granting of this alternate compliance request will not be materially detrimental to the public health, safety, or welfare, or injurious to the property or improvements of other property owners, or the quiet enjoyment thereof.

We respectfully request your approval of the Conditional Use application. Please contact me with any questions or additional information required in this regard.

Sincerely,

Platform



Catherine M. Sewell, AIA, LEED AP

CC: Rob Haggett

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DEVELOPMENT SERVICES

KEYED NOTES

- 1 GATED ENTRANCE
- 2 ADA HANDICAP PARKING
- 3 CONCRETE SIDEWALK
- 4 EMERGENCY ACCESS WITH BREAKAWAY FENCE
- 5 CONNECT TO EXISTING WATER
- 6 CONNECT TO EXISTING SEWER, INSTALL CLEANOUT
- 7 CONNECT TO EXISTING PRESSURE IRRIGATION
- 8 DRAINAGE FACILITIES
- 9 AREA LIGHTING, SEE ARCHITECTURAL PLANS
- 10 8' FENCE
- 11 FIRE HYDRANT
- 12 PV - VEHICLE WITH TRAILER PARKING
- 13 20' GRAVEL EMERGENCY ACCESS

KEYED NOTES

- 14 BUSINESS SIGN
- 15 SEWER CLEANOUT, CONNECT SEWER FORCE MAIN
- 16 2" SEWER FORCE MAIN

EXISTING

LEGEND

- BOUNDARY LINE
- SANITARY SEWER LINE
- SEWER FORCE MAIN
- WATER LINE
- PRESSURE IRRIGATION LINE
- STORM DRAIN LINE
- PUBLIC RIGHT OF WAY LINE
- 6" VERTICAL CURB
- 5' SIDEWALK
- SEWER MANHOLE
- STORM DRAIN MANHOLE
- AREA LIGHT
- FIRE HYDRANT
- POWER POLE
- EDGE OF PAVEMENT
- FENCE LINE
- ASPHALT AREA

PROPOSED



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OCT 2 2015

ADA COUNTY PLANNING SERVICES



J & B ENGINEERS, INC.
 250 S. Birchwood Ave.
 Suite 201
 Boise, ID 83709-0944
 Phone: 208.376.7320
 Fax: 208.372.8238
 www.jub.com

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FOR REVIEW ONLY

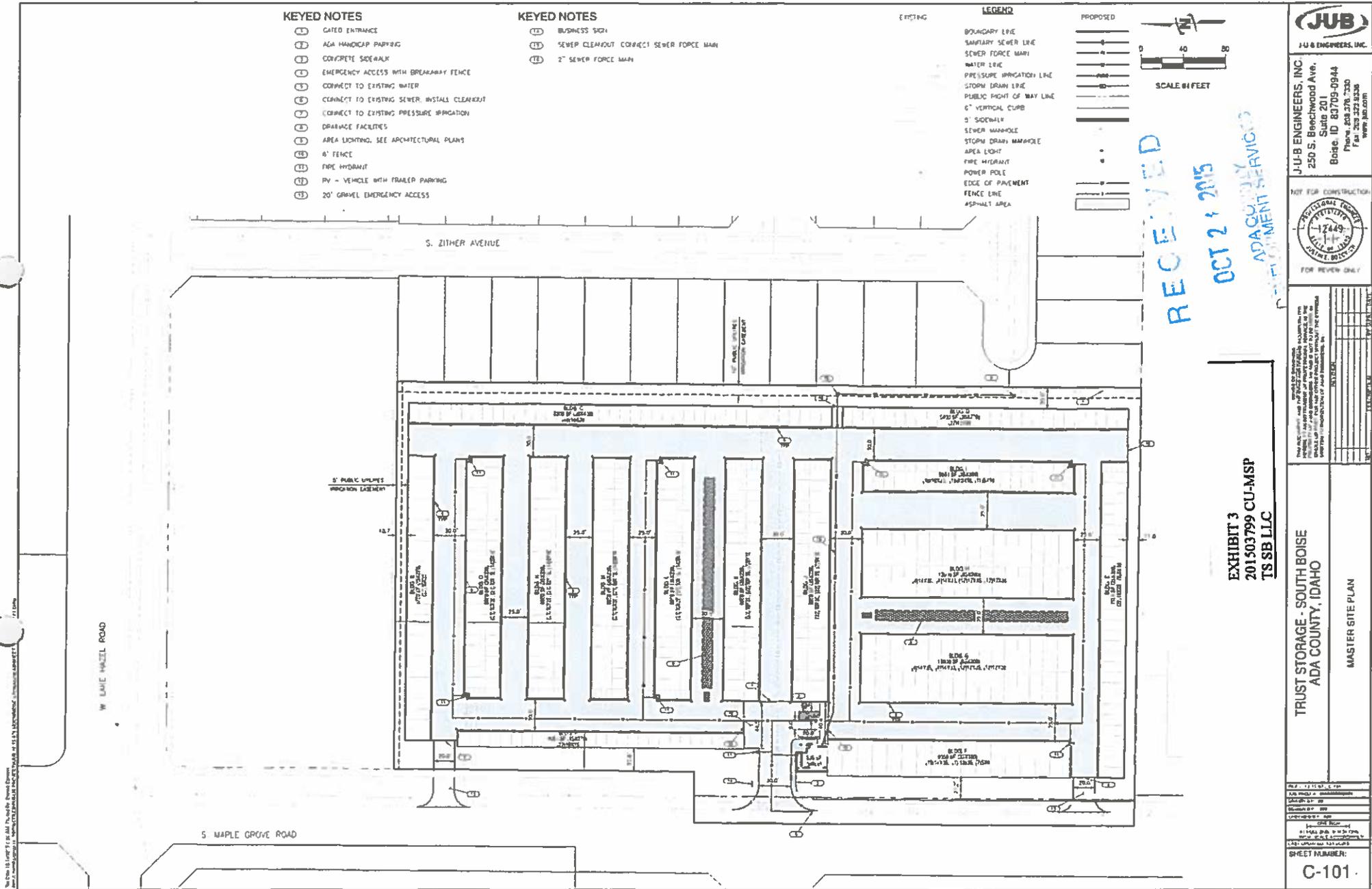
PROJECT NO.	201503799 CU-MSP
DATE	10/2/2015
SCALE	AS SHOWN
DESIGNED BY	J. B. JOHNSON
CHECKED BY	J. B. JOHNSON
DATE	10/2/2015

EXHIBIT 3
 201503799 CU-MSP
 TS SB LLC

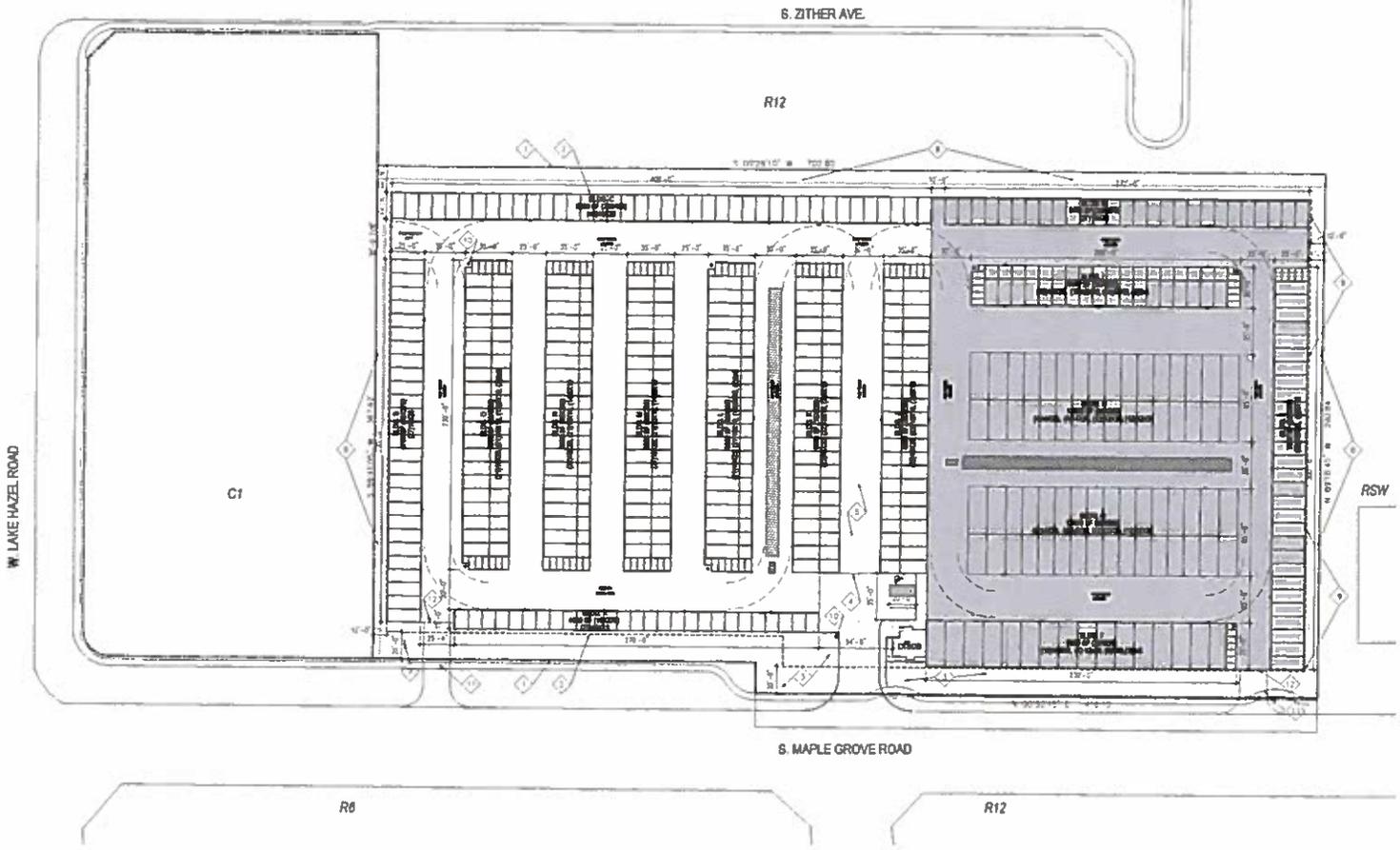
TRUST STORAGE - SOUTH BOISE
 ADA COUNTY, IDAHO

DATE	10/2/2015
BY	J. B. JOHNSON
CHECKED BY	J. B. JOHNSON
DATE	10/2/2015

SHEET NUMBER:
C-101



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 ADJACENT SERVICE?

- SHEET NOTES:**
- 1 PROPERTY LINE
 - 2 SETBACK LINE
 - 3 LANDSCAPED AREA RE LANDSCAPE
 - 4 VEHICLE ACCESS DRIVE
 - 5 ASPHALT DRIVE, PAV
 - 6 ROAD BUILT-UP RE LANDSCAPE
 - 7 DRIVE LIGHTS
 - 8 ROAD BUILT-UP RE TRAIL RE LANDSCAPE
 - 9 SOLID GRILL, TYP ALONG SOLID-SCREENING LINE
 - 10 FIBER OPTIC CONDUIT
 - 11 EMERGENCY VEHICLE ACCESS
 - 12 EMERGENCY ACCESS DRIVE AS SHOWN PERFORMING AS DRG.

GENERAL NOTES:

NOTE:
 SHEETS PAGES 1

PHASE 1 - UNIT MIX	
SELF STORAGE	
UNIT SIZE	QTY
100	4
150	0
200	0
250	170
300	120
350	0
TOTAL UNITS	194
OFFICE	525
TOTAL UNITS	719
TOTAL SF	87,000

PHASE 2 - UNIT MIX	
RV CAMPUS	
UNIT SIZE	QTY
10	0
15	0
20	0
25	0
30	0
35	0
40	0
45	0
50	0
55	0
60	0
65	0
70	0
75	0
80	0
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1970	0
1975	0
1980	0
1985	0
1990	0
1995	0
2000	0

PLATFORM
 ARCHITECTURAL DESIGN

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 CONSTRUCTION

DATE: 28 SEPTEMBER 2014
 SCALE: AS INDICATED
 DRAWN: DMS
 CHECKED: DMS
 Conditional Use

TS-SB LLC
TRUST STORAGE - SOUTH BOISE
 6400 S. Maple Grove Rd. Ada County, ID



C.L. "Butch" Otter
Governor of Idaho

September 30, 2015

Janet Gallimore
Executive Director

Ms. Kristi Watkins
J-U-B Engineers, Inc.
Land Use Planner
250 S. Beechwood Avenue
Suite 201
Boise, ID 83709

Administration
2205 Old Penitentiary Road
Boise, Idaho 83712-8250
Office: (208) 334-2682
Fax: (208) 334-2774

Membership and Fund
Development
2205 Old Penitentiary Road
Boise, Idaho 83712-8250
Office: (208) 514-2310
Fax: (208) 334-2774

RE: Moonridge Storage, 6400 & 6390 South Maple Grove Road, Boise (Idaho SHPO REV 2015-994)

Dear Ms. Watkins,

Historical Museum and
Education Programs
610 North Julia Davis Drive
Boise, Idaho 83702-7695
Office: (208) 334-2120
Fax: (208) 334-4059

Thank you for your informational letter and project materials regarding the proposed storage facility. We understand that you are contacting our office in regards to solicit any concerns we may have regarding potential effects to cultural resources as directed by Ada County's comprehensive plan. We have reviewed the proposed undertaking and have no concerns regarding potential effects to *historic properties*.

State Historic Preservation
Office and Historic Sites
Archeological Survey of Idaho
210 Main Street
Boise, Idaho 83702-7264
Office: (208) 334-3861
Fax: (208) 334-2775

If the undertaking at some point incurs federal involvement (Corps Permit, EPA Notice of Intent, etc.) our recommendation under Section 106 of the National Historic Preservation Act is no effect to *historic properties* (36 CFR 800.4). If the undertaking incurs federal involvement at some point you are welcome to submit this letter as evidence of consultation with our office.

Statewide Sites:
• Franklin Historic Site
• Pierce Courthouse
• Rock Creek Station and
• Stricker Homesite

We appreciate your consulting with our office. If you have any questions feel free to contact me at 208-334-3847 x107 or ethan.morton@ishs.idaho.gov.

Old Penitentiary
2445 Old Penitentiary Road
Boise, Idaho 83712-8254
Office: (208) 334-2844
Fax: (208) 334-3225

Sincerely,

Idaho State Archives
2205 Old Penitentiary Road
Boise, Idaho 83712-8250
Office: (208) 334-2620
Fax: (208) 334-2626

Ethan Morton, State Historic Preservation Office

North Idaho Office
112 West 4th Street, Suite #7
Moscow, Idaho 83843
Office: (208) 882-1540
Fax: (208) 882-1763

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DEVELOPMENT SERVICES



Kristi Watkins

From: Kibler, Bob <bob_kibler@fws.gov>
Sent: Thursday, September 10, 2015 11:24 AM
To: Kristi Watkins
Subject: Re: Moonridge Storage - Ada County EA

Greetings Kristi:

I have reviewed the documentation provided, and have examined historic 1992 and 1998 aerial imagery of the area available via Google Earth. I acknowledge receipt of the no effect determination for slickspot peppergrass prepared for the the U.S. Environmental Protection Agency for the subject action bu the J-U-B Engineers, Inc. Aerial imagery indicates the site has been in cultivated cropland prior the the proposed listing of the species. Cultivation typically disrupts the shallow slickspot soils required to support this species. Therefore, I agree with your determination that habitat would not be present for this species in the action area. I have no additional comments or recommendations to provide regarding trust resources of conservation concern for the Fish and Wildlife Service.

Please contact me if you have questions or require additional information.

On Thu, Sep 10, 2015 at 10:36 AM, Kristi Watkins <kwatkins@jub.com> wrote:

September 10, 2015

Bob Kibler

Fish and Wildlife Service

1387 S Vinnell Way, Suite 368

Boise, Idaho 83709

VIA E-Mail: bob_kibler@fws.gov

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Dear Mr. Kibler:

In preparation for request of entitlements through Ada County Development Services, our client requests verification that this project has no effect on threatened or endangered species.

In order to determine whether threatened or endangered species will be affected by the proposed scope of work, the following information is being provided for your review and comment:

1. **The Area of Potential Effect:** Based on the information from the on-line assessment of the project area, the report shows that Slickspot Peppergrass is proposed for this area, but that not critical habitats lie within the project area. Can you please verify if this, is in fact, true?

2. **Location:** The project is located on 5.564 acres of vacant land owned by TS SB, LLC in Township 2N, Range 1E, Section 1, Moonridge Sub No. 12, Lot 33 Blk 10, parcel numbers R5793840340 & R5793840330, 6400 & 6390 S. Maple Grove Rd, Boise, Idaho, Ada County.

3. **Federal agencies involved:** There are no other federal agencies involved with this project.

4. **Project description:** Project includes 15 single drive up self-storage structures.

5. **Description of ground surfaces & disturbances:** The project is located on vacant land. Ground disturbances will take place during construction and contained on-site.

I understand that you have 30 days from your receipt of this letter to respond. You can e-mail your response to me at kwatkins@jub.com or please contact me at (208) 489-7906 if you have any questions or concerns.

Sincerely,

Kristi Watkins

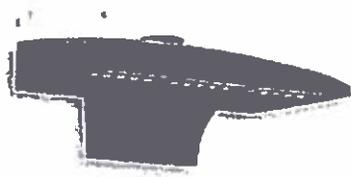
Kristi Watkins

J-U-B ENGINEERS, Inc.

Land Use Planner

Attachments: Vicinity Map, Master Site Plan

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D-Series Size 2 LED Wall Luminaire



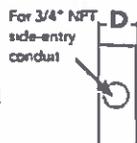
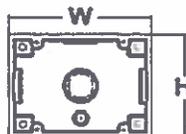
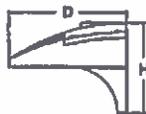
d²series

Specifications Luminaire

Width: 18-1/2" (47.0 cm)
Depth: 10" (25.4 cm)
Height: 7-5/8" (19.4 cm)
Weight: 21 lbs (9.5 kg)

Back Box (BBW)

Width: 5-1/2" (14.0 cm)
Depth: 1-1/2" (3.8 cm)
Height: 4" (10.2 cm)
Weight: 1 lbs (0.5 kg)



Catalog Number

Notes

Type WL1

Introduction

The D-Series Wall luminaire is a stylish, fully integrated LED solution for building-mount applications. It features a sleek, modern design and is carefully engineered to provide long-lasting, energy-efficient lighting with a variety of optical and control options for customized performance.

With an expected service life of over 20 years of nighttime use and up to 76% in energy savings over comparable 400W metal halide luminaires, the D-Series Wall is a reliable, low-maintenance lighting solution that produces sites that are exceptionally illuminated.

Ordering Information

EXAMPLE: DSXW2 LED 30C 700 40K T3M MVOLT DDBTXD

DSXW2 LED	30C	1000	40K	T3M	120	BBW	PIRH	DBLXD	
Series	LEDs	Drive Current	Color temperature	Distribution	Voltage	Mounting	Control Options	Other Options	Finish (required)
DSXW2 LED	20C 20 LEDs (two engines)	350 350 mA	30K 3000 K	T2S Type II Short	MVOLT ¹ 120 ²	Shipped included (blank) Surface mounting bracket Shipped separately³ BBW Surface-mounted back box (for conduit entry)	Shipped installed PE Photoelectric cell, button type ⁴ PER NEMA twist-lock receptacle only (no controls) DMG 0-10V dimming driver (no controls) DCR Dimmable and control-lable via ROAM ⁵ (no controls) ¹ PIRH 180° motion/ambient light sensor, 15-30° mtg ht ⁴	Shipped installed SF Single fuse (120, 277, 347V) ¹ DF Double fuse (208, 240, 480V) HS House-side shield SPD Separate surge protection ⁴	DDBXD Dark bronze DBLXD Black DNAXD Natural aluminum DWHXD White DSSXD Sandstone DDBTXD Textured dark bronze DBLBDX Textured black DNATXD Textured natural aluminum DWHGXD Textured white DSSTXD Textured sandstone
		530 530 mA	40K 4000 K	T2M Type II Medium	208 ¹				
	700 700 mA	50K 5000 K	T3S Type III Short	240 ¹					
	30C 30 LEDs (three engines)	1000 1000 mA (1 A)	AMBPC Amber phosphor converted	T3M Type III Medium	347 ¹				
				T4M Type IV Medium	480 ¹				
				TFTM Forward Throw Medium					
				ASYDF Asymmetric diffuse					

NOTES

- MVOLT driver operates on any line voltage from 120-277V (50/60 Hz). Specify 120, 208, 240 or 277 options only when ordering with (using SF, DF options), or photocontrol (PE option).
- Available with 30 LED/700mA options only (DSXW2 LED 30C 700). DMG option not available.
- Also available as a separate accessory; see Accessories information.
- Photocontrol (PE) requires 120, 208, 240 or 277 voltage option. Not available with motion/ambient light sensors (PIRH or PIRH).
- Specifies a ROAM⁵ enabled luminaire with 0-10V dimming capability; PER option required. Not available with 347V, 480V or PIRH. Additional hardware and services required for ROAM⁵ deployment; must be purchased separately. Call 1-800-442-6745 or email: sales@roomservices.net.
- Specifies the Sensor Switch 58GR-6-ODP control; see Motion Sensor Guide for details. Includes ambient light sensor. Not available with "PE" option (button type photoctrl) or DCR Dimming driver standard.
- Single fuse (SF) requires 120, 277 or 347 voltage option. Double fuse (DF) requires 208, 240 or 480 voltage option.
- See the electrical section on page 2 for more details.
- Requires luminaire to be specified with PER option. Ordered and shipped as a separate line item.

Accessories

Ordered and shipped separately

DLL127T 1.5 AU	Photoctrl - SSL twist lock (120-277V)
DLL347T 1.5 (1A) AU	Photoctrl - SSL twist lock (347V) ⁴
DLL480T 1.5 (1A) AU	Photoctrl - SSL twist lock (480V) ⁴
SC U	Shoring cap ¹
DSXWES U	House-side shield (one per light engine)
DSXWESW U	Bird-deterrent spikes
DSXW2WG U	Wire guard accessory
DSXW2VG U	Vandal guard accessory
DSXW2BBW DDBXD U	Back box accessory (specify finish)



One Lithonia Way • Conyers, Georgia 30012 • Phone 800.279.8041 • Fax 770.918.1209 • www.lithonia.com
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Performance Data

Lumen Output

Lumen values are from photometric tests performed in accordance with IESNA LM-79-08. Data is considered to be representative of the configurations shown, within the tolerances allowed by Lighting Facts. Contact factory for performance data on any configurations not shown here.

LEDs	Peak Current (mA)	System Watts	LED Type	35K				40K				50K						
				4300K		30,000lm		4300K		30,000lm		5000K		30,000lm				
				Lumen	h	U	U ₂	Lumen	h	U	U ₂	Lumen	h	U	U ₂			
20C (20 LEDs)	530	36 W	T2S	3,649	1	0	1	101	3,876	1	0	1	108	3,429	1	0	1	95
			T2M	3,478	1	0	1	97	3,694	1	0	1	103	3,267	1	0	1	91
			T3S	3,609	1	0	1	100	3,833	1	0	1	106	3,390	1	0	1	94
			T3M	3,572	1	0	1	99	3,794	1	0	1	105	3,356	1	0	1	93
			T4M	3,500	1	0	2	97	3,717	1	0	2	103	3,288	1	0	1	91
			TFTM	3,630	1	0	1	101	3,864	1	0	1	107	3,418	1	0	1	95
	ASTDF	3,252	1	0	2	90	3,454	1	0	2	96	3,056	1	0	2	85		
	T2S	4,502	1	0	1	96	4,776	1	0	1	102	4,794	1	0	1	102		
	T2M	4,290	1	0	1	91	4,552	1	0	1	97	4,569	1	0	1	97		
	T3S	4,452	1	0	1	95	4,723	1	0	2	100	4,741	1	0	2	101		
	T3M	4,407	1	0	2	94	4,675	1	0	2	99	4,672	1	0	2	100		
	T4M	4,318	1	0	2	92	4,581	1	0	2	97	4,598	1	0	2	98		
	TFTM	4,468	1	0	2	95	4,761	1	0	2	101	4,779	1	0	2	102		
	ASTDF	4,012	1	0	2	85	4,257	1	0	2	91	4,273	1	0	2	91		
	T2S	5,943	2	0	2	81	6,327	1	0	1	84	6,351	1	0	1	85		
	T2M	5,683	2	0	2	77	6,029	1	0	2	80	6,052	1	0	2	81		
	T3S	5,896	1	0	2	80	6,256	1	0	2	83	6,280	1	0	2	84		
	T3M	5,837	2	0	3	79	6,193	1	0	2	83	6,216	1	0	2	83		
T4M	5,719	1	0	2	77	6,067	1	0	2	81	6,090	1	0	2	81			
TFTM	5,944	1	0	2	80	6,307	1	0	2	84	6,330	1	0	2	84			
ASTDF	5,314	1	0	2	72	5,638	2	0	2	75	5,640	2	0	2	75			
30C (30 LEDs)	530	54 W	T2S	4,333	1	0	1	80	5,280	1	0	1	98	5,269	1	0	1	107
			T2M	4,216	1	0	1	78	5,137	1	0	2	95	5,613	1	0	2	104
			T3S	4,279	1	0	1	79	5,214	1	0	1	97	5,696	1	0	1	105
			T3M	4,349	1	0	2	81	5,298	1	0	2	98	5,789	1	0	2	107
			T4M	4,291	1	0	1	79	5,228	1	0	2	97	5,712	1	0	2	106
			TFTM	4,267	1	0	1	79	5,223	1	0	2	97	5,707	1	0	2	106
	T2S	5,346	1	0	1	75	6,513	1	0	1	92	7,118	2	0	2	100		
	T2M	5,201	1	0	2	73	6,317	2	0	2	89	6,925	2	0	2	98		
	T3S	5,279	1	0	1	74	6,431	1	0	2	91	7,028	1	0	2	99		
	T3M	5,365	1	0	2	76	6,536	1	0	2	92	7,143	2	0	3	101		
	T4M	5,293	1	0	2	75	6,449	1	0	2	91	7,047	1	0	2	99		
	TFTM	5,289	1	0	2	74	6,444	1	0	2	91	7,042	1	0	2	99		
	T2S	7,137	2	0	2	65	8,697	2	0	2	80	9,581	2	0	2	87		
	T2M	6,944	2	0	2	64	8,463	2	0	2	78	9,244	2	0	2	85		
	T3S	7,047	1	0	2	65	8,588	1	0	2	79	9,381	2	0	2	86		
	T3M	7,162	2	0	3	66	8,728	2	0	3	80	9,534	2	0	3	87		
	T4M	7,066	1	0	2	65	8,611	1	0	2	79	9,487	2	0	2	86		
	TFTM	7,060	1	0	2	65	8,604	2	0	2	79	9,399	2	0	2	86		

Notes:

Available with phosphor converted amber LED's (nomenclature AMBPC). These LED's produce light with 97+% >530 nm. Output can be calculated by applying a 0.7 factor to 4000 K lumen values and photometric files.

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ADA COUNTY
DEVELOPMENT SERVICES



Performance Data

Lumen Ambient Temperature (LAT) Multipliers

Use these factors to determine relative lumen output for average ambient temperatures from 0-40°C (32-104°F).

Ambient	Lumen Multiplier
0°C / 32°F	1.02
10°C / 50°F	1.01
20°C / 68°F	1.00
25°C / 77°F	1.00
30°C / 86°F	1.00
40°C / 104°F	0.98

Electrical Load

Temp.	Area (sq. ft.)	System Wattage	Current (A)					
			120V	208V	240V	277V	347V	480V
20C	350	25 W	0.23	0.13	0.12	0.10	-	-
	530	36 W	0.33	0.19	0.17	0.14	-	-
	700	47 W	0.44	0.25	0.22	0.19	-	-
	1000	73 W	0.68	0.39	0.34	0.29	-	-
30C	350	36 W	0.33	0.19	0.17	0.14	-	-
	530	54 W	0.50	0.29	0.25	0.22	-	-
	700	71 W	0.66	0.38	0.33	0.28	0.25	0.16
	1000	109 W	1.01	0.58	0.50	0.44	-	-

Projected LED Lumen Maintenance

Data references the extrapolated performance projections for the DSXW2 LED 30C 1000 platform in a 25°C ambient, based on 10,000 hours of LED testing (tested per IESNA LM-80-08 and projected per IESNA TM-21-11).

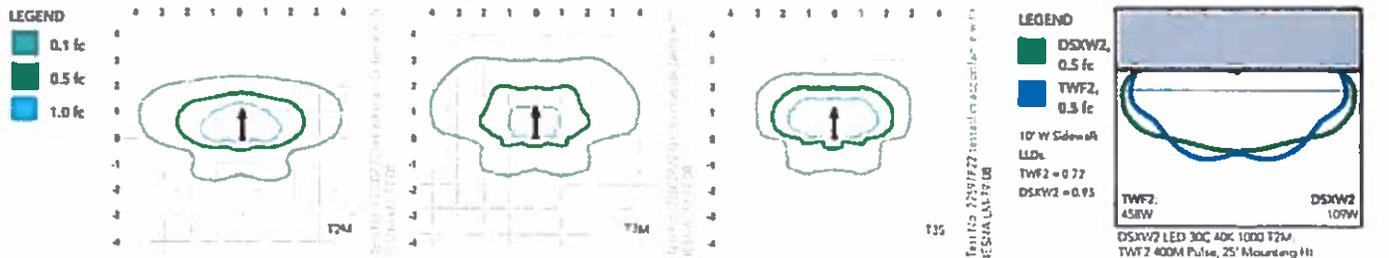
To calculate LMF, use the lumen maintenance factor that corresponds to the desired number of operating hours below. For other lumen maintenance values, contact factory.

Operation Hours	0	25,000	50,000	100,000
Lumen Maintenance Factor	1.0	0.95	0.92	0.87

Photometric Diagrams

To see complete photometric reports or download .ies files for this product, visit Lithonia Lighting's D-Series Wall Size 2 homepage.

Isocandela plots for the DSXW2 LED 30C 1000 40K. Distances are in units of mounting height (25')



FEATURES & SPECIFICATIONS

INTENDED USE

The energy savings, long life and easy-to-install design of the D-Series Wall Size 2 make it the smart choice for building-mounted doorway and pathway illumination for nearly any facility.

CONSTRUCTION

Two-piece die-cast aluminum housing has integral heat sink fins to optimize thermal management through conductive and convective cooling. Modular design allows for ease of maintenance. The LED driver is mounted to the door to thermally isolate it from the light engines for low operating temperature and long life. Housing is completely sealed against moisture and environmental contaminants (IP65).

FINISH

Exterior parts are protected by a zinc-infused Super Durable TG-174 thermoset powder coat finish that provides superior resistance to corrosion and weathering. A tightly controlled multi-stage process ensures a minimum 3 mils thickness for a finish that can withstand extreme climate changes without cracking or peeling. Available in textured and non-textured finishes.

OPTICS

Precision-molded proprietary acrylic lenses provide multiple photometric distributions tailored specifically to building mounted applications. Light engines are available in 3000 K (60 min. CRI), 4000 K (70 min. CRI) or 5000 K (70 CRI) configurations.

ELECTRICAL

Light engine(s) consist of 10 high efficacy LEDs mounted to a metal-core circuit board to maximize heat dissipation and promote long life (L87/100,000 hrs at 25°C). Class 1 electronic drivers have a power factor >90%, THD <20%, and a minimum 2.5KV surge rating. When ordering the SPD option, a separate surge protection device is installed within the luminaire which meets a minimum Category C Low (per ANSI/IEEE C62.41.2).

INSTALLATION

Included universal mounting bracket attaches securely to any 4" round or square outlet box for quick and easy installation. Luminaire has a slotted gasket wireway and attaches to the mounting bracket via corrosion resistant screws.

LISTINGS

CSA certified to U.S. and Canadian standards. Rated for -40°C minimum ambient.

DesignLights Consortium® (DLC) qualified product. Not all versions of this product may be DLC qualified. Please check the DLC Qualified Products List at www.designlights.org to confirm which versions are qualified.

WARRANTY

Five year limited warranty. Full warranty terms located at www.acuitybrands.com/CustomerResources/Terms_and_conditions.aspx.

Note: Actual performance may differ as a result of end-user environment and application. All values are design or typical values, measured under laboratory conditions at 25°C. Specifications subject to change without notice.



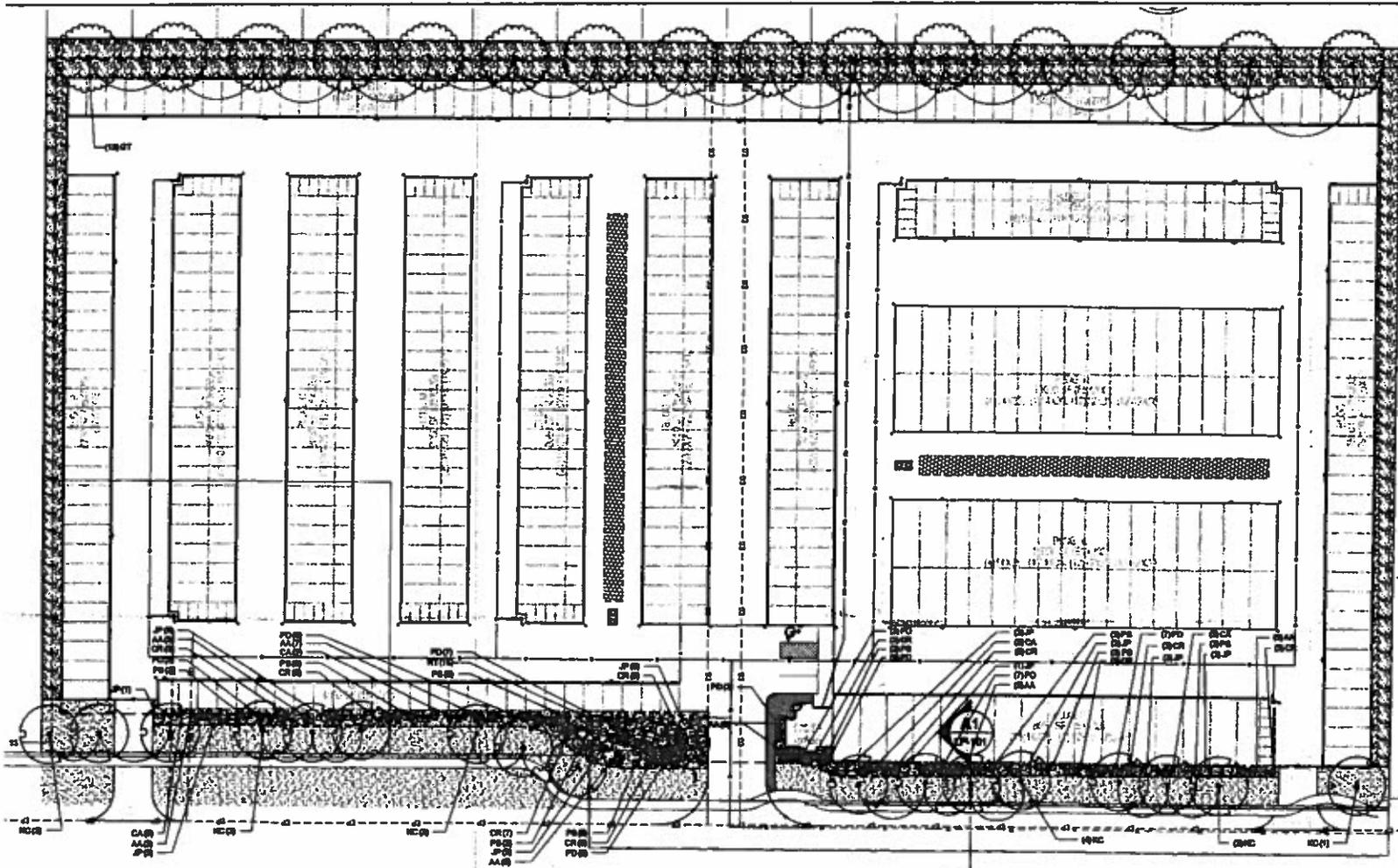
One Lithonia Way • Conyers, Georgia 30012 • Phone 800.279.8041 • Fax 770.918.1209 • www.lithonia.com
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DSXW2-LED
Rev 03/03/15

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TRACO KEY
REPAIRMENT SERVICE



Total Landscape Points	
Shade Trees (drought tolerant)	320 pts.
Shrubs (drought tolerant)	732 pts.
Turf (other)	77 pts.
Fence (north)	136 pts.
Fence (east)	280 pts.
Fence (south)	136 pts.
Berm (west)	280 pts.
TOTAL	1961

PLANT SCHEDULE

CODE	BOTANICAL NAME	COMMON NAME	QTY	SIZE
ST	Quercus laevis 'Hayden' 'TS'	Hayden Thicket Honey Locust	8 & 8	2' Cal
NC	Washingtonia palmata 'Coral Sea'	Golden Palm Tree	8 & 8	2' Cal
CODE	BOTANICAL NAME	COMMON NAME	QTY	SIZE
CR	Chrysanthemum moultonii	Autumn Poinsettium	2 gal	48"
JP	Juncus tenuis 'Prince of Wales'	Prince Of Wales Juncus	1 gal	36"
RT	Rhus typhina 'Tiger Eye'	Tiger Eye Buckeye	1 gal	18"
CODE	BOTANICAL NAME	COMMON NAME	QTY	SIZE
AA	Agave schottlandii 'Apricot Sunset'	Apricot Sunset Agave Hybrid	1 gal	24"
PD	Peperomia spathulata 'Blue Green'	Peperomia Sage	1 gal	24"



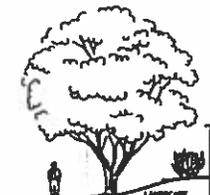
CODE	BOTANICAL NAME	COMMON NAME	QTY	SPACING	SIZE
CA	Centropogon & seedling 'Tall Prairie'	Prairie Reed Grass	1 gal		30"
PD	Panicum capillare 'Dove Tail'	Dove Tail Prairie Grass	1 gal		30"
CODE	BOTANICAL NAME	COMMON NAME	QTY	SPACING	SIZE
PM	3/4 inch gravel		2' Depth		21,280 sq ft
PY	Pine Fines	Rocky Slope Mix	600		16,380 sq ft
BM	Stripped Bark Mulch		2' Depth		1,776 sq ft

CONCRETE SIDEWALK EDGING



Waterworks Inflow
Call before you dig.

CALL 2 BUSINESS DAYS IN ADVANCE BEFORE YOU DIG, GRADE, OR EXCAVATE FOR THE MARKING OF UNDERGROUND MEMBER UTILITIES



A1 LANDSCAPE SECTION
SCALE IN FEET

EXHIBIT 7
201503799 CU-MSP
TS SBL LC

LANDSCAPE NOTES

- The Contractor shall be familiar with the planting and irrigation technical specifications - failure to do so will not relieve the contractor of his responsibility to fulfill all requirements in said specifications.
- Prior to any planting operations, the irrigation system shall be fully operational and all planting areas shall be thoroughly watered.
- The planting plan is diagrammatic, and all plant locations are approximate. Plant symbols take precedence over plant quantities shown on the plans and in the Plant Material Schedule. The Contractor shall verify all plant quantities and notify the Landscape Architect of any discrepancies between the quantities and the symbols shown. The Plant Material Schedule is for the Contractor's convenience only.
- No substitution of size, grade, variety or any species shall be permitted except by written permission of the Landscape Architect. Upon receiving Notice to Proceed, the Contractor shall provide written proof that the specified plant material is available and has been secured or reserved specifically for this project. Obtain nursery stock and other plant materials from reliable and stable sources prior to order and delivery.

1. Final Grade Preparation

- The subgrade material shall be rough graded to plus or minus one tenth (+0.1) foot of the final rough grade, which will allow the Contractor to achieve final finished grade through the placement of the topsoil.
- Protect existing trees, shrubs, lawns, existing structures, fences, racks, sidewalks, paving, curbs and gutter and other features during construction.
- Protect above or below grade utilities. Contact utility companies to repair damage to utilities. Contractor shall pay all cost of repairs which he causes.
- Maintain all benchmarks, control monuments and stakes, whether newly established by surveyor or previously existing. Protect from damage and destruction.
- Grading Island: Spot elevations and contour indicated are based on the best available data. The intent is to maintain constant slopes between spot elevations.
- Construct grades in an orderly manner. Do not create a substance. Do not permit soil accumulation on streets or sidewalks. Do not allow soil to be washed into sewers and storm drains.
- Grade slopes to provide adequate drainage after completion. Do not create water ponds or rills. Use of means necessary to prevent erosion of freshly graded areas during construction until surfaces have been revegetated and landscaping areas have taken hold.
- Grades shall be smooth, even, and maintain a consistent uniform slope. Grades with undulating surfaces will be rejected and require re-grading.
- The Contractor shall maintain a minimum of two (2) percent drainage away from all buildings, structures, and walls. Finished grades shall be maintained to eliminate pooling or standing water.
- All finished grades shall be approved by the Landscape Architect, prior to installation of any plant materials.

- All planting areas shall receive a minimum of four (4) inches of imported topsoil in turf areas and twelve (12) inches in planting beds. All topsoil used on this project shall meet the following criteria:
 - A. pH: 5.5 - 8.0
 - B. EC (electrical conductivity): <2.0 millimhos per centimeter
 - C. SAR (sodium absorption ratio): <3.0
 - D. % OM (organic matter): 3%
 - E. Texture (particle size per USDA classification):
 - I. Sand: <70%
 - II. Silt: <70%
 - III. Clay: <30%
 - F. Stone (fragments or gravel) or any soil particle greater than two (2) mm in size: <6% (by volume)
 - G. Rocks > 1.5" None

In addition, the topsoil shall be fertile, stable, natural loam and shall be capable of sustaining vigorous plant growth. It shall be free of stones, lumps, clods of hard earth, plants or their roots, sticks, and other extraneous matter. The topsoil shall contain neither noxious weeds nor their seeds. It shall not be used for planting operations while in a brown or muddy condition. An appropriate fertilizer may be used to provide needed nutrients for healthy and vigorous plant growth. Follow recommendation of topsoil report.

- The following procedure shall be followed in placing all topsoil:
 - A. All areas to receive topsoil which have a slope of less than one (10) percent shall be cross-rippled to a depth of four (4) to six (6) inches.
 - B. The surface of the subgrade shall be scarified to a depth of two (2) inches to provide a transition zone between the subgrade and the topsoil. Place the topsoil on the subgrade and fine grade to the final finished grade and topsoil depth as indicated on the drawings and in these notes.
 - C. Any required soil amendments (i.e. organic matter, fertilizer, gypsum, etc.) shall be placed directly on the topsoil at the required rates and spread evenly over the planting area. The amendments shall then be thoroughly blended into the topsoil to a depth of four (4) inches. When only a dry, granular fertilizer is to be added, it may be applied to the surface and mixed in during the fine grading process.
- The Contractor shall obtain a soil analysis from any authorized soil testing agency of any existing topsoil or imported topsoil to be used on the project to verify that it conforms to the topsoil specifications. Test results shall include horticultural nutrient recommendations. The soil samples shall be obtained per the testing agency directions. Allow ten (10) working days to obtain test results. The costs for such testing shall be the responsibility of the Contractor. Prior to delivery of the imported topsoil to the site, the Contractor shall provide to the Landscape Architect the name and location of the topsoil source, along with the certified soil analysis of the topsoil to be used. The analysis shall verify that the proposed topsoil meets the topsoil specifications, and is capable of supporting healthy plant growth.
- After imported top soil has been delivered to the site, a second soil test may be required to verify that it is indeed the same soil as previously tested and designated for use in this project. No substitution of top soil shall be allowed without prior written authorization from the Landscape Architect.
- All plants used for this project shall conform to the following:
 - A. Any inspection certificates required by law shall accompany each delivery of plants and such certificates shall be filed with the Landscape Architect. All plants shall be subject to inspection and approval at the place of growth or upon delivery to the site for their quality, size, species, and variety. Such approval shall not impair the right of inspection and rejection at the site or during progress of work for size and condition of the plants, latent defects, or injuries. Any and all rejected plants shall be removed immediately from the premises by the Contractor. The Contractor shall make all replacements at his expense should he fail to comply in full with any of the specifications. Necessary replacements will be made as soon as weather conditions permit and all such plants replaced shall conform to all specifications herein.
 - B. Plants shall be fresh and vigorous, of normal habit and growth, and free of disease, insects and insect eggs and insect larvae, weeds and weed seed. No rooted-in plants from cold storage shall be accepted except on approval by the Landscape Architect prior to installation.
- All plants shall be installed using the following procedures:
 - A. Plants shall be generally located as indicated by the drawing. The Contractor shall stake out the location of all plants and planting areas, and no excavation or installation shall commence until such locations have been

- approved by the Landscape Architect.
- All trees and shrubs shall be planted in pits as detailed in the planting details contained herein or as noted on the drawings. Tree and shrub pits shall be circular in outline, with a diameter at least two (2) times the diameter of the rootball of each plant to be installed. They shall be one to two and one half (1 + 2 1/2) inches shallower than the rootball depth. When the plant is properly placed in the plant pit, the root collar shall be at or approximately one (1) inch above finished grade. The sides of the plant pit shall be roughened, and not smooth or sloped.
- Plant backfill mix shall be one hundred (100) percent native site soil.
- For container grown plants, remove the container and place the plant vertically in the plant pit, directly on undisturbed soil. The root crown or collar shall be at or approximately one (1) inch above the finished grade. Perennial plants and ornamental grasses shall be planted with root collar at finished grade.
- For balled and burlapped plants, place the plant vertically in the corner of the pit, with the rootball resting on undisturbed soil. Cut and remove the wire basket and burlap or other wrapping material from the rootball. This may be done with the rootball in the pit. Any burlap or wire pieces underneath the rootball may be left in place if they cannot be removed. Do not bid the burlap over, but cut away as much as possible without disturbing the rootball. No burlap shall be pulled from under the rootball. Backfill the bottom one third (1/3) of the pit with the wire and burlap are removed. In all cases, maintain the integrity of the rootball.
- Specified backfill material shall be carefully and evenly watered and tamped under and around the rootball to fill all voids. When backfilled and compacted to two thirds (2/3) the depth of the pit, thoroughly water the backfill to completely settle the roots and remove any air pockets.
- The plant pit shall then be completely backfilled with the specified backfill mix and tamped well. A shallow watering basin or rain cup shall be formed around each plant. This basin will be equal in diameter to that of the original planting pit.
- After planting, the following operations shall be performed:
 - I. Stake and notch all trees per installation details.
 - II. Remove all nursery stakes ties, and tags from all plants. Prune and remove any dead, damaged, or broken branches. Maintain site growth on all trees.

- Staking shall be performed as follows:
 - A. Two (2) 2" x 2" square or 2" diameter round wood stakes, minimum ten (10) feet in length, shall be used to support each tree planted under this contract unless otherwise indicated. Metal L-codes shall not be used.
 - B. Tree ties shall conform to the staking detail shown on the planting detail sheet. Wire and vinyl hose shall not be used.
 - C. Each stake shall be treated adjacent to the rootball, on opposing sides, to provide maximum support to the trunk. Do not penetrate the rootball with the stakes.
 - D. The stakes shall be driven into the pit bottom after the tree has been placed in the pit, but before backfilling begins so as to avoid damage to the roots.
 - E. Stakes and ties shall be removed after one (1) full growing season from the time the tree was installed.
- All plants shall be thoroughly watered immediately after planting. This shall mean full and thorough saturation of all backfill in the pits and beds during the same day of planting. Water shall be applied only by open end hose of very low pressure to avoid air pockets, injury to the plant, or washing away of backfill. When installed, watered, and fully settled, the plants shall be vertical. Subsequent watering shall be provided by the site's irrigation system. The Contractor shall insure that plants, especially trees, receive sufficient water to maintain healthy growth and vigor. Over-watering shall be avoided, and prolonged saturation of the soil around the trees shall be eliminated by appropriately controlling the irrigation circuit which provides water to that area.

- A weed barrier fabric shall be placed in all planting beds to prevent the growth and spread of unwanted vegetation. The fabric shall be Typar 60301B or approved equal.
- Mulch (see plant material schedule and specifications for final requirements) shall be placed to a depth of three (3) inches on top of the topsoil in all planting beds and over tree planting pits. The finished grade of the mulch shall be as follows:
 - A. Two (2) inches below the surface or finished grade of any paving, concrete, or walls adjacent to the planting area.
 - B. One (1) inch below top of metal edging.
 - C. At adjacent finished grade of the turf surrounding tree planting pits.
 - D. In tree pits, the mulch shall be kept six (6) inches away from the base of the tree.
 - E. Just prior to placement of the mulch, the Contractor shall treat the mulched areas with a pre-emergent herbicide according to the manufacturer's recommendations.

- For projects with turf grass seed, all seed used for this project shall be free of gravity and broad-leaved weeds, contain no bark or buried seeds, and be clean and strongly rooted. It shall be of the varieties noted in the plans and Plant Material Schedule. The seed shall be cut using approved methods and equipment. It shall be cut in pieces not exceeding one (1) square yard, with a uniform thickness on all pieces. Bed thickness may vary between a minimum of one (1) inch and maximum one and one half (1 1/2) inches, but must be consistent throughout the project. The Contractor shall notify the Landscape Architect of the source of the seed prior to placement. The seed shall be shipped and delivered to the site not more than twenty four (24) hours prior to laying. It shall be maintained in a moist and healthy condition to encourage immediate growth.

- The following procedure shall be followed when installing the seed:
 - A. Lay the seed on smooth, moist topsoil, working off plants if required.
 - B. Rake the topsoil to loosen and level prior to placing each course of seed.
 - C. Lay strips perpendicular to the direction of the slope. Strips shall be parallel to each other, with their ends staggered. The seed shall be neither stretched nor overlapped, and all joints shall be butted tightly together.
 - D. Roll the seed immediately after placing and thoroughly water with a fine spray to a depth sufficient that the underside of the new seed and the soil immediately below the seed are thoroughly wet.
 - E. On slopes two (2) percent or more (1) vertical or steeper, lay the seed perpendicular to the slope and secure every two (2) feet maximum on center. Close the loose ends with the end portion of the seed.
 - F. Seed pieces shall be laid tightly together. Bed areas with gaps caused by pieces not being laid tightly enough together or areas with ripples from overlapping pieces shall not be accepted and the Contractor will be required to re-lay the seed.

- Throughout the course of planting, excess and waste materials as well as excavated subsoil shall be continuously and promptly removed. All areas shall be kept clear and all reasonable precautions taken to avoid damage to existing structures, plants, and grass. When planting has been completed in an area, it shall be thoroughly cleaned of all debris, rubbish, refuse, and waste materials. These shall be removed from the property and disposed of legally. All planting beds shall also be put away.

- Substantial Completion shall be defined as the complete installation of all plant materials, staking, mulching, and other work on the project in its entirety. Substantial completion shall not be given on designated portions of a project.
- At substantial completion of all planting work outlined in these plans, the Contractor shall contact the Landscape Architect to arrange for a walk through to verify that all aspects of the work have been completed. Work must be fully completed (except for final clean-up) according to all plans, notes, and specifications and exhibit professional workmanship.
- Notice by the Contractor shall be given, in writing, at least three (3) days in advance to the Owner's Representative and Landscape Architect so that proper scheduling can be made for those who are to attend.
- At the approved time, an inspection of all plant materials, including staking and mulching, shall be made.
- A list of uncompleted items (punch list) shall be generated by the Landscape Architect and distributed to the Contractor and other involved parties within three (3) days of the substantial completion inspection. Each item on

the punch list shall be corrected before the project will be approved and accepted by the Owner's representative. The Contractor will be back charged for time spent by the Owner and any consultants who have been brought to the site for a final inspection when the project is not ready for said inspection.

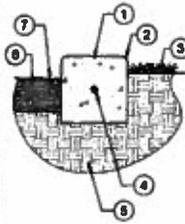
- The maintenance/warranty period shall begin one (1) day after the substantial completion inspection. The Contractor shall complete all punch list items during this period, as well as maintain and operate the entire irrigation system. The Contractor shall maintain all plantings until the turf is fully established. The turf shall be considered fully established when turf grass stands cover in uniform and thick, with no bare or thin spots, and roots have begun to spread and knit together. No weeds shall be allowed in the grass. There shall be a minimum period of sixty (60) days. If winter weather interrupts the maintenance period, the maintenance period shall be suspended and the balance of the time shall be carried over to the next growing season and completed then. The Owner and Contractor shall mutually determine when the maintenance period is suspended and when it starts up again. The maintenance work required shall include but not be limited to the following:
 - A. Appropriate watering of all plant materials.
 - B. Weeding and removal of all weeds from groundcover and planting areas.
 - C. Replacement of any dead, dying, or damaged trees, shrubs, perennials, or groundcover.
 - D. Filling and replanting of any low areas which may cause standing water.
 - E. Adjusting of sprinkler head heights and watering patterns.
 - F. Filling and re-compaction of eroded areas, along with any required re-seeding and/or replanting.
 - G. The turf grass shall be mowed when the blades reach three (3) inches tall and maintained to a minimum height of two (2) inches. No more than one third (1/3) of the blade shall be removed per cutting. The cutting frequency shall be once every five (5) to seven (7) days depending upon turf grass height and growth rate.
 - H. Weekly removal of all trash, litter, clippings, and all foreign debris.
 - I. At thirty (30) days after planting, a balanced fertilizer (16-16-16) shall be applied to the turf grass areas at a rate of one half (1/2) pound of nitrogen per one thousand (1,000) square feet.
 - J. At intervals of thirty (30) days after the first application of fertilizer to the turf grass, apply a balanced fertilizer (15-15-15) at a rate of one half (1/2) pound of nitrogen per one thousand (1,000) square feet until the turf grass is established.

At final inspection shall be held prior to the end of the maintenance period to insure that all punch list items have been completed and the entire project is ready for acceptance by the Owner. Upon satisfaction that the Contractor has completed all punch list items, the irrigation system is fully and completely functional, and the required As-Built drawings, reports and maintenance manuals have been submitted, the Owner shall accept the project. An official letter of final acceptance shall be prepared and issued to the Contractor, Landscape Architect, and the Owner's representative. Upon final acceptance of the project by the Owner's representative, the Owner shall assume full responsibility for the project, and the guarantee period shall begin.

- Upon final acceptance of the project as being properly installed, the Contractor shall guarantee the plant materials as follows:
 - A. All shrubs and groundcovers shall be guaranteed by the Contractor as to growth and health for a period of sixty (60) days after completion of the maintenance period and final acceptance.
 - B. All trees shall be guaranteed by the Contractor to live and grow in an acceptable upright position for a period of one (1) year after completion of the maintenance period and final acceptance.

- The Contractor shall, within fifteen (15) days after receiving written notification by Owner's representative, remove and replace all guaranteed plant materials which die or become unsatisfactory or appear to be in a badly impaired condition at any time during the guarantee period. Any plants that settle below or rise above the desired finished grade shall also be re-set to the proper grade.
 - A. All replacements shall be plants of the same kind, size, and quality as originally specified in the "plant list" and they shall be established, staked, and maintained as specified herein at no additional cost.
 - B. The Contractor will not be responsible for plants destroyed or lost due to occupancy of the project, vandalism or the part of others, or improper maintenance of such trees.

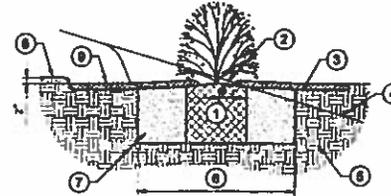
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PHONE: 476-1111
FAX: 476-1112
TRUST STORAGE - SOUTH BOISE
RECEIVED
02/11/20
DAVID L. BOYD
3110 CHASEWAY



- ① 6" x 6" CONCRETE MOW STRIP (MIN. 2000 PSI AT 28 DAYS)
- ② 1/2" RADIUS TROWLED EDGES (TYP.)
- ③ FINISH GRADE FOR LAWN AREAS: 1" BELOW TOP OF CONCRETE FOR SEEDS; 1-1/2" FOR SOO
- ④ #3 REBAR CONC. (LAP 12" AT SPLICES)
- ⑤ UNDISTURBED OR COMPACTED SUBGRADE AT 90% RELATIVE DENSITY
- ⑥ 3" LAYER OF MULCH & PLANTER BEDS
- ⑦ FINISH GRADE AT 2" BELOW TOP OF CONCRETE FOR PLANTING BED AREAS

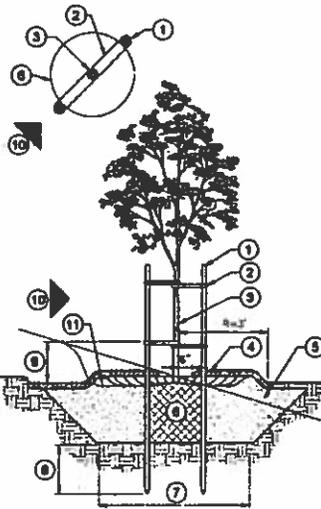
NOTE: PROVIDE CONSTRUCTION OR CONTROL JOINTS AT 3' O.C. MAX. AND EXPANSION JOINTS WHERE MOWSTRIP ABUTS ANY MASONRY TYPE IMPROVEMENT.

1 6" CONCRETE MOWSTRIP
M/S



- ① ROOT BALL
- ② CROWN - AT FINISHED GRADE
- ③ FINISHED GRADE
- ④ FINISHED GRADE AT SLOPE (WHERE OCCURS)
- ⑤ UNDISTURBED SOIL
- ⑥ 2X ROOTBALL DIA. MIN.
- ⑦ BACKFILL MIX (SEE PLANTING NOTES)
- ⑧ TOP OF PAVING (WHERE APPLICABLE)
- ⑨ 3" LAYER OF MULCH

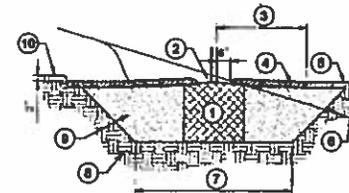
2 PERENNIAL PLANTING
M/S



- ① 2" DIA. OR 2" x 2" SQ. x 10' STRAIGHT WOODEN STAKE (2 REQUIRED)
- ② V.I.T. CINCH-TIE VINYL TREE TIE (2 PER STAKE, LENGTH AS REQUIRED). SECURE TO STAKE W/ GALV. NAIL 1 PER TIE
- ③ TREE-TRUNK
- ④ 3" LAYER MULCH AROUND EACH TREE (3' RADIUS CIRCLE WHEN IN TURF)
- ⑤ SEE TREE/SHRUB PLANTING DETAIL
- ⑥ ROOT BALL
- ⑦ 2X ROOTBALL DIA. MIN. W/ 45° SIDES
- ⑧ 24" MIN.
- ⑨ 6" MAX.
- ⑩ PREVAILING WIND DIRECTION
- ⑪ WATERING BASIN - SEE TREE/SHRUB PLANTING DETAIL

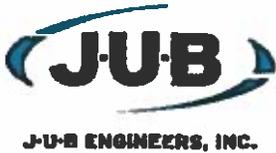
NOTE: STAKES SHALL BE REMOVED AFTER ONE COMPLETE GROWING SEASON.

3 DECIDUOUS TREE STAKING W/ WATERING BASIN
M/S



- ① ROOTBALL
- ② CROWN - APPROXIMATELY 1" ABOVE FINISH GRADE
- ③ 3' RADIUS CIRCLE OF SHREDDED BARK MULCH WHEN TREE IS LOCATED IN TURF
- ④ 3" LAYER OF MULCH
- ⑤ FINISHED GRADE
- ⑥ FINISHED GRADE AT SLOPE (WHERE SLOPE OCCURS)
- ⑦ 2X ROOTBALL DIA. MIN. W/ 45 DEGREE SIDES
- ⑧ UNDISTURBED SOIL
- ⑨ BACKFILL MIX (SEE PLANTING NOTES)
- ⑩ TOP OF PAVING (WHERE APPLICABLE)

4 TREE/SHRUB PLANTING
M/S



J-U-B COMPANIES



THE LAMBSON GROUP



GATEWAY MAPPING INC.

September 14, 2015

Ada County
Planning & Zoning Commission
200 W. Front Street
Boise, Idaho 83702

**RE: TRUST STORAGE – SOUTH BOISE
NATURAL FEATURES ANALYSIS**

The Natural Features Analysis has been completed in accordance with Ada County Code Section 8-4E-4. The results of the analysis are summarized below.

1. **Hydrology:** The site does not contain any natural surface water features or wetlands and it is not located within a floodplain. Groundwater was not observed at the site per the groundwater monitoring report prepared by Associated Earth Scientists, Inc.
2. **Soils:** The Ada County Soil Survey identifies site soils consisting of Abo Silt Loam and Elijah Silt Loam and are classified as Type II, irrigated soils. The soils report prepared by Associated Earth Scientists identifies subsurface basalt located on site at depths varying from 3-ft to 8-ft below the surface.
3. **Topography:** Slopes on site are generally less than 1%.
4. **Vegetation:** Site vegetation generally consists of pasture grasses.
5. **Sensitive Plant and Wildlife Species:** The Idaho Department of Fish & Game does not identify the site as critical habitat for any threatened or endangered species.
6. **Historic Resources:** The Ada County Historic Resources Inventory does not identify any historic resources on site.
7. **Hazardous Resources:** There are no known hazardous areas located on site as defined by Ada County Code.
8. **Impact on Natural Features:** There were no natural features of concern identified on site that would necessitate mitigation. The proposed project will be developed in accordance with Ada County requirements.

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OCT 21 2015

ADACOUNTY
DEVELOPMENT SERVICE

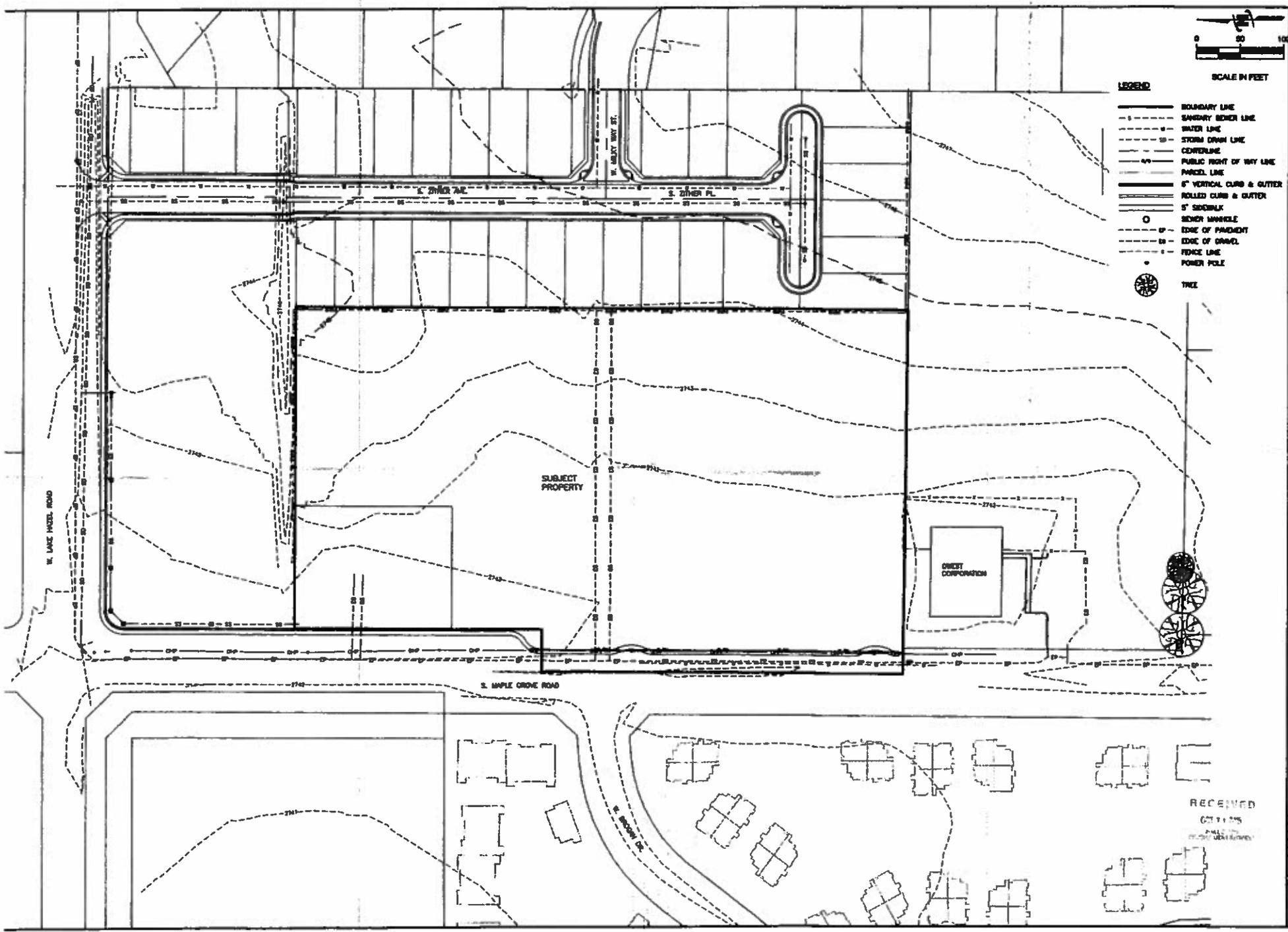
Sincerely,

J-U-B ENGINEERS, Inc.



Scott Wonders, PE
Land Development Group Lead

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- SCALE IN FEET
- LEGEND
- BOUNDARY LINE
 - - - - - SECONDARY SEWER LINE
 - · · · · WATER LINE
 - · - · - · STORM DRAIN LINE
 - — — — COVERLINE
 - · - · - · PUBLIC RIGHT OF WAY LINE
 - — — — PARCEL LINE
 - 6" VERTICAL CURB & GUTTER
 - ROLLED CURB & GUTTER
 - 6" SIDEWALK
 - SEWER MANHOLE
 - - - - - EDGE OF PAVEMENT
 - · · · · EDGE OF GRAVEL
 - · - · - · FENCE LINE
 - POWER POLE
 - TREE

RECEIVED
 02/11/05
 10:00 AM



**ADA COUNTY
DEVELOPMENT SERVICES**
PREAPPLICATION CONFERENCE NOTES

200 W. FRONT STREET
BOISE, IDAHO 83702-7300
PHONE (208) 287-7900

Preapplication Number: 201500092 - PREAP - A

Status: Active

Date Received: 6/17/2015

Date Closed:

Meeting Date: 6/30/2015

Date Assigned: 6/17/2015

Project Description:

Applicant's Name:

Would like to propose a self storage facility

SEWELL CATHY

No. of Lots/Units: 0

Total Acres: 5.564

Development Services Staff Assigned To Meeting:

Staff Name:

Attended Meeting?

BRENT DANIELSON

KRISTY HELLER

Unique Features:

Sewer/Septic:

Water/Well:

General Property Location:

Parcel Info:

Parcel Num:

Street Address:

City/State/Zip:

R5793840340

6400 S MAPLE GROVE RD

Boise, ID 83709-0000

Zone Info:

Zone Type:

Zone:

Existing Zone

LO

TwN / Rng / Sec Info:

TwN: Rng: Sec: Qtr:

2N 1E 1

Overlay Areas Info:

Overlay Area:

Overlay Value:

Code Ref:

Comments:

Impact Area

Boise

SouthWest

Yes

Article 8-3C

Comp Plan:

Agencies To Contact:

Agency Name:

ADA COUNTY HIGHWAY DISTRICT/ PLANNING DEPT - (208)-387-6170

Comments:

CENTRAL DISTRICT HEALTH DEPARTMENT - (208)-327-8517

Comments:

IDAHO POWER COMPANY - (208)-388-2699

Comments:

Contact Person:

LITTLE CHRISTY

RENO MIKE

HORNSBY COURTNEY

Proposed Allowed Uses:

Storage facility, self-service

Required Applications:

App Type:

Descriptive Name:

CU

CONDITIONAL USE

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ADA COUNTY
DEVELOPMENT SERVICES

6/30/2015

EXHIBIT 11
201503799 CU-MSP
TS SB LLC



ADA COUNTY DEVELOPMENT SERVICES

200 W. FRONT STREET
BOISE, IDAHO 83702-7300
PHONE (208) 287-7900

PREAPPLICATION CONFERENCE NOTES

Notes:

The property is currently within the LO District.

A Self-Service Storage Facility - Outdoor Facility will require an application for a conditional use and master site plan.

A conditional use application requires a public hearing in front of the Planning and Zoning Commission.

See Article 8-4E of the Ada County Code for information on Master Site Plans.

A master site plan will require submittal of a natural features analysis. See Subsection 8-4E-4D of the Ada County Code for regulations regarding Natural Features Analysis. The following features shall be mapped, described, or noted as not applicable in the natural features analysis: Hydrology; Soils; Topography; Vegetation; Sensitive Plant and Wildlife Species; Historic Resources; Hazardous Areas; and Impact on Natural Features.

A master site plan also requires submittal of a parking plan. See Article 8-4G of the Ada County Code for information on Parking. The off-street parking and loading plan shall contain the location, size, and type of all proposed off-street parking and loading facilities. See Table 8-4G-1 for required automobile width and stall length by parking angle. A Self-Service Storage Facility requires one (1) parking space per entrance to the site.

The applicant may submit a landscaping and screening plan at the time of application if a landscaping and screening plan is not submitted at the time of application, then it will be required to be submitted as a condition of approval. See Article 8-4F of the Ada County Code for information on landscaping and screening plans. There is a fee for the landscaping plan review of \$135.

If any outdoor lighting is proposed or anticipated, the applicant shall submit a lighting plan. See Article 8-4H of the Ada County Code for information on lighting plans. There is a fee for the lighting plan review of \$100.

If any signs are proposed or anticipated, the applicant shall concurrently submit a sign plan. See Article 8-4I of the Ada County Code for information on sign plans. The landscaping, lighting, and sign plans can be conditions of approval.

8-5-3-108: STORAGE FACILITY, SELF-SERVICE AND STORAGE FACILITY, SELF-SERVICE - OUTDOOR ONLY:linklink

A. Storage Facility, Self-Service: Specific standards for storage facilities, self-service, shall be as follows:

1. Storage areas shall not be used as dwellings or as a commercial or industrial place of business. The manufacture or sale of any item from or at a self-service storage facility is specifically prohibited.
2. The maximum size of individual storage areas shall be five hundred (500) square feet.
3. The distance between structures shall be designed to allow a twelve foot (12') travel lane for emergency vehicles to pass while tenant's vehicles are parallel parked (9 foot width) at the entrance to their storage areas.
4. The perimeter of the storage facility shall be completely fenced, walled, or enclosed and screened from public view. Fencing materials shall complement the exterior building materials.
5. No structure, facility, drive lane, parking area, nor loading area shall be located within twenty feet (20') of a residential district unless a six foot (6') sound reduction wall is provided.
6. If abutting a residential district, the facility hours of public operation shall be limited to seven o'clock (7:00) A.M. to ten o'clock (10:00) P.M.
7. Storage of any hazardous materials as defined by title 40 code of federal regulations part 261, or subsequent amendments thereto, shall be prohibited.

B. Storage Facility, Self-Service - Outdoor Only: Specific standards for storage facilities, self-service - outdoor only, shall be as follows:

1. Parcel Size; Site Coverage: A minimum parcel size of five (5) acres shall be required for any proposed outdoor only.



ADA COUNTY DEVELOPMENT SERVICES

200 W. FRONT STREET
BOISE, IDAHO 83702-7300
PHONE (208) 287-7900

PREAPPLICATION CONFERENCE NOTES

- storage facility. Any eligible property shall be limited to an overall maximum site coverage of twenty percent (20%), and no facility shall be greater than fifteen (15) acres in size.
2. **Frontage:** The property shall have frontage to an arterial street.
 3. **Distance Between Stored Vehicles:** The distance between stored vehicles, including RVs and trailers, shall be a minimum of ten feet (10') side to side, while maintaining a minimum of twenty feet (20') access aisle on at least one end or as approved by the local fire authority. The distance between parking rows shall be a minimum of twenty feet (20') of travel lane for emergency vehicle access or as approved by the local fire authority. Each space shall have access from an access aisle that is a minimum of twenty feet (20').
 4. **Screening:** The perimeter of the storage facility shall be completely fenced, walled, or enclosed and screened from the public right of way, and comply with chapter 4, article F of this title. For the purpose of perimeter landscaping and screening, property lines, as described in section 8-4F-6 of this title, shall refer to the specific facility boundaries.
 5. **Location:** No boundary of the facility shall be located within one hundred feet (100') of a residential property line, with the exception of a boundary adjacent to a public roadway.
 6. **Dwellings; Places Of Business:** Stored vehicles, including RVs and trailers, shall not be used as dwellings or as a commercial or industrial place of business. The manufacture or sale of any item from or at an outdoor only self-service storage facility is specifically prohibited.
 7. **Storage Of Hazardous Materials:** Storage of any hazardous materials as defined by title 40 code of federal regulations part 261, or subsequent amendments thereto, shall be prohibited.
 8. **Design Standards:** Minimum design standards for the facility shall include the following:
 - a. The storage facility shall be screened year round and comply with chapter 4, article F of this title. This article provides for the minimum required screening. The commission may require additional or modified screening and/or buffering in order to prevent or enhance the blocking of views of existing adjacent residences and to maintain the rural and residential character of the RUT district.
 - B. Access locations into the facility shall be approved by the applicable transportation jurisdiction.
 - C. All parking, storage and drive aisles within the facility shall be improved with a compacted gravel base, not less than four inches (4") thick, surfaced with asphaltic concrete or some comparable all weather dustless material.
 - D. All storage stalls shall be clearly defined on the site plan. The facility shall designate and maintain storage stall locations on site at all times.
 - E. Outdoor storage areas shall further comply with the requirements for outdoor storage, as set forth in section 8-5-3-78 of this chapter.
 9. **Use As A Junkyard Prohibited:** The site shall not be used as a "junkyard" or "automobile wrecking yard" as herein defined.
 10. **Storage:** The storage of any items and materials other than vehicles, RVs, or trailers is prohibited unless otherwise approved by the commission; provided, that items and materials contained within a vehicle, RV or trailer are permitted.
 11. **Maintenance, Repair, Or Rebuilding:** Maintenance, repair, or rebuilding of vehicles or machinery on the property is prohibited.
 12. **Noise:** Use of the property shall comply with title 5, chapter 13, "Noise", of this code.
 13. **Hours Of Operation:** Unless otherwise approved or restricted through the conditional use, hours of operation shall be limited between the hours of seven o'clock (7:00) A.M. and ten o'clock (10:00) P.M. Facilities abutting residential uses (section 8-1A-2, figure 5 of this title) shall be limited to the hours of eight o'clock (8:00) A.M. and eight o'clock (8:00) P.M.
 14. **Prohibited Locations:** Vehicles shall not be stored within the required yards.
 15. **Use Of Site:** The site shall not be used as a "contractor's yard" as herein defined unless such use has been approved.
 16. **Compliance:** The use shall comply with the flood hazard overlay district as set forth in chapter 3, article F, of this title.
 17. **Zoning Inspection:** For the duration of the approval, the use shall be subject to zoning inspection upon advanced notice and request by the Ada County development services department. If a permit holder refuses to allow inspection of the premises by the development services department, the approved zoning certificate or conditional use permit may be revoked.
 18. **On Site Office Prohibited:** An on site office within the confines of the storage facility is prohibited. If the facility owner has a dwelling located on the remaining property, and if that dwelling will be used by the owner to administer the facility, or if the owner intends to administer the facility from an off site dwelling, then the owner shall obtain a home occupation permit and comply with the requirements of section 8-5-3-54 of this chapter.
 19. **Additional Standards:**
 - a. The following shall be considered as part of the review of an application:
 - (1) The proximity of existing dwellings;

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OCT 21 2015
Page 3 of 4

ADA COUNTY
DEVELOPMENT SERVICES



**ADA COUNTY
DEVELOPMENT SERVICES**

200 W. FRONT STREET
BOISE, IDAHO 83702-7300
PHONE (208) 287-7900

PREAPPLICATION CONFERENCE NOTES

- (2) The number of vehicles anticipated to be stored upon the property;
- (3) The hours of operation;
- (4) Dust;
- (5) Noise;
- (6) Traffic and circulation;
- (7) Landscaping and screening;
- (8) Other.

B. The duration of a conditional use permit for an outdoor only storage facility shall be limited. The conditional use permit shall expire five (5) years following the approval date, or upon annexation of the subject property into a city, whichever occurs first. If the applicant wishes to continue the use beyond the five (5) year period, a new conditional use permit shall be submitted prior to expiration of the original conditional use permit and approved by the commission. Upon expiration of the conditional use permit, all stored vehicles shall be removed within thirty (30) days from the subject property

See Article 8-5B of the Ada County Code for information on conditional uses.

Prior to the submission of the application, a neighborhood meeting is required. You may obtain the mailing labels from this office for a \$26.50 fee. See Section 8-7A-3 of the Ada County Code for information on neighborhood meetings.

The applicant is required to post the property with the hearing information at least 10 days before the public hearing. A signed certification form is required to be submitted at least 7 days before the public hearing. See Subsection 8-7A-5F of the Ada County Code for information on Sign Posting.

Meeting notes:

Discussed a property boundary adjustment and a subdivision application for the northern property.

Are proposing a sound wall along the southern property line. ACC 8-4F-5 G.
Continuous Service Drives ACC 8-4G-4C.

ACC 8-4A-26 Structures greater than 10000.

Additional Preap Conference: Not Recommended

Neighborhood Meeting Required? Yes

Cross References:

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ADA COUNTY
DEVELOPMENT SERVICES

MEMORANDUM



DATE: 4/10/2015

RE: 201503799-CU/MSP TS SB LLC Storage

TO: Diana Sanders, Associate Planner

FROM: Mark Ferm, Ada County Building Official

Summary of Project:

A self-storage facility with 555 enclosed storage units and 64 RV covered parking units. There will be an approximately 600 sq. ft. office at the entrance. A sign is proposed on the northwest corner of the property at 6400 S Maple Grove.

Findings and Conditions:

The building division has no objections to the proposed use however the applicant should be aware that any structure built or installed will require a building permit and plans including a complete code analysis from an architect licensed in the State of Idaho.

Conclusion:

Approved with condition listed above.

Mark Ferm
Ada County Building Official
200 W Front Suite 2125
Boise Idaho 83702
Phone 287-7910
markf@adaweb.net

EXHIBIT 12
201503799 CU-MSP
TS SB LLC

MEMORANDUM



DATE: October 29, 2015

RE: Recommendation Regarding File 201503799 CU MSP, Self-Storage at 6400 S. Maple Grove Rd, Boise, ID

TO: Diana Sanders, Associate Planner

FROM: Angela Gilman, Ada County Engineer

Diana,

Per your request I have reviewed the project referenced above. The documents reviewed include:

- Master Application
- Detailed Letter
- Master Site Plan

My comments and Conditions of Approval are as follows:

1. A Drainage Study and Drainage Plan need to be submitted in accordance with Ada County Code 8-4A-11.
2. Provide documentation that the local fire district is satisfied with the final construction documents.
3. The applicant/engineer of record shall schedule a final inspection with me, the County Engineer, upon completion of the project.
4. Applicant shall comply with all EPA requirements regarding Notice of Intent (NOI) and erosion and sediment control plans for sites that disturb more than 1 acre.

BOISE CITY PUBLIC WORKS DEPARTMENT

DEPARTMENT CORRESPONDENCE

Date: October 29, 2015

To: Boise City Planning & Zoning

Re: 201503799-CU-MSP; 6400 S. Maple Grove Rd.

CONDITIONS OF APPROVAL

SEWER CONDITIONS – MIKE SHEPPARD (384-3920)

Project is located in Ada County. Contact Boise City Public Works to request a waiver of the current sewer extension policy and connection to existing City Sewer.

Prior to granting final sewer construction plan approval, the Boise City Council recommendations of approval must be adopted.

DRAINAGE/STORMWATER CONDITIONS – BRIAN MURPHY (384-3752)

A drainage plan for this development must be submitted and approved by Ada County.

STREET LIGHT CONDITIONS – MIKE HEDGE (388-4719)

No comment.

PERSON MAKING OTHER COMMENTS –

OTHER COMMENTS -

**Rob
Bousfield**

Digitally signed by Rob Bousfield
DN: cn=Rob Bousfield, o, ou=Asst.
City Engineer,
email=rbousfield@cityofboise.org,
c=US
Date: 2015.11.02 08:35:40 -0700

PUBLIC WORKS REPRESENTATIVE

**Mike
Sheppard, P.E.**

Digitally signed by Mike Sheppard, P.E.
DN: cn=Mike Sheppard, P.E., o=Public
Works, ou=Civil Engineer,
email=mshppard@cityofboise.org,
c=US
Date: 2015.11.02 08:36:10 -0700

PUBLIC WORKS REPRESENTATIVE

I:\PWA\Subjects\Review Comments\CU\2015-CU\201503799-CU-MSP.doc

EXHIBIT 14
201503799 CU-MSP
TS SB LLC



Jim D. Hansen, President
Sara M. Baker, Vice President
Rebecca W. Arnold, Commissioner
Kent Goldthorpe, Commissioner
Paul Woods, Commissioner

November 9, 2015

To: Cathy Sewell
Platform Architecture
1008 S. Johnson Street
Boise, ID 83705

Subject: ADA15-0089/201503799-CU-MAP
6400 S. Maple Grove Road
Trust Storage

In response to your request for comment, the Ada County Highway District has reviewed the submitted application and site plan for the item referenced above. It has been determined that ACHD has site specific conditions of approval for this application.

A. Findings of Fact

1. Maple Grove Road

- a. Maple Grove Road is improved with 2 travel lanes and a 5 foot wide detached concrete sidewalk within 74 feet of right-of-way (25 to 50 feet from centerline). Therefore staff does not recommend any additional right-of-way dedication or street improvements are part of this application.

2. Minor Improvements

- a. Minor Improvements Policy: District Policy 7203.3 states that minor improvements to existing streets adjacent to a proposed development may be required. These improvements are to correct deficiencies or replace deteriorated facilities. Included are sidewalk construction or replacement; curb and gutter construction or replacement; replacement of unused driveways with curb, gutter and sidewalk; installation or reconstruction of pedestrian ramps; pavement repairs; signs; traffic control devices; and other similar items.
- b. Consistent with ACHD's Minor Improvement Policy, the applicant should be required to replace any broken or deteriorated sidewalk abutting the site.

3. Driveways

- a. Successive Driveways: District policy 7205.4.6 Table 1a, requires driveways located on minor arterial roadways with a speed limit of 35 MPH to align or offset a minimum of 330-feet from any existing or proposed driveway.

Driveway Width Policy: District policy 7205.4.8 restricts high-volume driveways (100 VTD or more) to a maximum width of 36-feet and low-volume driveways (less than 100 VTD) to a maximum width of 30-feet. Curb return type driveways with 30-foot radii will be required for high-volume driveways with 100 VTD or more. Curb return type driveways with 15-foot radii will be required for low-volume driveways with less than 100 VTD.

Driveway Paving Policy: Graveled driveways abutting public streets create maintenance problems due to gravel being tracked onto the roadway. In accordance with District policy, 7205.4.8, the applicant should be required to pave the driveway its full width and at least 30-feet into the site beyond the edge of pavement of the roadway and install pavement tapers in accordance with Table 2 under District Policy 7205.4.8.

- b. The applicant has proposed to construct 3 driveways for the site. One 58 foot wide full access driveway in alignment with Brogan Drive on the west side of Maple Grove Road, located approximately 612 feet south of Lake Hazel Road.

The other two driveways are proposed to be constructed as emergency access only and are proposed to be 25 feet wide and to be located approximately 300 and 925 feet south of Lake Hazel Road.

- c. **Staff Comments/Recommendations**

The applicant's proposal to construct one full access driveway in alignment with Brogan Drive meet's District policy and should be approved, as proposed. This driveway should be restricted with a width of 40 feet.

The applicant's proposal to construct two 25 feet wide emergency access only driveways located 300 and 925 feet south of Lake Hazel Road should be approved, as proposed. Both driveways should be restricted to emergency access only with gates or bollards as required by the fire department with jurisdiction over the site.

All three driveways should be paved their full width at least 30-feet into the site beyond the edge of pavement of Maple Grove Road.

Access to the parcel directly north of the site will be limited to a right-in/right-out only driveway on Maple Grove Road. Direct lot access to Lake Hazel is prohibited.

B. Site Specific Conditions of Approval

1. Replace any broken or deteriorated sidewalk on Maple Grove Road abutting the site.
2. Construct one 40 foot wide driveway onto Maple Grove Road, aligned centerline to centerline with Brogan Drive on the west side of Maple Grove Road across from the site.
3. Construct two 25 foot wide emergency access only driveways onto Maple Grove Road located 300 and 925 feet south of Lake Hazel Road. Both driveways shall be restricted to emergency access only with gates or bollards as required by the Fire Department.
4. Pave all thee driveways there full width at least 30 feet into the site beyond the edge of Maple Grove Road abutting the site.
5. A Traffic Impact Fee will be assessed by ACHD and will be due prior to issuance of a building permit. Please contact the ACHD Planner (see below) for information regarding impact fees.
6. Plans shall be submitted to the ACHD Development Review Department for plans acceptance, and impact fee assessment (if an assessment is applicable).

7. Comply with the Standard Conditions of Approval as noted below.

C. Traffic Information

Trip Generation

This development is estimated to generate 236 additional vehicle trips per day; and 24 additional vehicle trips per hour in the PM peak hour, based on the Institute of Transportation Engineers Trip Generation Manual, 9th edition.

Condition of Area Roadways: *Traffic Count is based on Vehicles per hour (VPH)*

Roadway	Frontage	Functional Classification	PM Peak Hour Traffic Count	PM Peak Hour Level of Service
Maple Grove	1,020-feet	Minor Arterial	83	Better than "D"
Lake Hazel	N/A	Principal Arterial	194	Better than "E"

* Acceptable level of service for a two-lane principal arterial is "E" (690 VPH).

* Acceptable level of service for a two-lane minor arterial is "D" (550 VPH).

Average Daily Traffic Count (VDT): *Average daily traffic counts are based on ACHD's most current traffic counts*

- The average daily traffic count for Maple Grove south of Lake Hazel was 1,639 on 4/30/14.
- The average daily traffic count for Lake Hazel east of Maple Grove was 2,451 on 1/22/14.

If you have any questions, please feel free to contact me at (208) 387-6178.

Sincerely,



**Mindy Wallace, AICP
Planner III
Development Services**

**cc: Ada County Development Services
Robert Haggett
JUB – Scott Wonders**

Standard Conditions of Approval

1. All proposed irrigation facilities shall be located outside of the ACHD right-of-way (including all easements). Any existing irrigation facilities shall be relocated outside of the ACHD right-of-way (including all easements).
2. Private Utilities including sewer or water systems are prohibited from being located within the ACHD right-of-way.
3. In accordance with District policy, 7203.6, the applicant may be required to update any existing non-compliant pedestrian improvements abutting the site to meet current Americans with Disabilities Act (ADA) requirements. The applicant's engineer should provide documentation of ADA compliance to District Development Review staff for review.
4. Replace any existing damaged curb, gutter and sidewalk and any that may be damaged during the construction of the proposed development. Contact Construction Services at 387-6280 (with file number) for details.
5. A license agreement and compliance with the District's Tree Planter policy is required for all landscaping proposed within ACHD right-of-way or easement areas.
6. All utility relocation costs associated with improving street frontages abutting the site shall be borne by the developer.
7. It is the responsibility of the applicant to verify all existing utilities within the right-of-way. The applicant at no cost to ACHD shall repair existing utilities damaged by the applicant. The applicant shall be required to call DIGLINE (1-811-342-1585) at least two full business days prior to breaking ground within ACHD right-of-way. The applicant shall contact ACHD Traffic Operations 387-6190 in the event any ACHD conduits (spare or filled) are compromised during any phase of construction.
8. Utility street cuts in pavement less than five years old are not allowed unless approved in writing by the District. Contact the District's Utility Coordinator at 387-6258 (with file numbers) for details.
9. All design and construction shall be in accordance with the ACHD Policy Manual, ISPWC Standards and approved supplements, Construction Services procedures and all applicable ACHD Standards unless specifically waived herein. An engineer registered in the State of Idaho shall prepare and certify all improvement plans.
10. Construction, use and property development shall be in conformance with all applicable requirements of ACHD prior to District approval for occupancy.
11. No change in the terms and conditions of this approval shall be valid unless they are in writing and signed by the applicant or the applicant's authorized representative and an authorized representative of ACHD. The burden shall be upon the applicant to obtain written confirmation of any change from ACHD.
12. If the site plan or use should change in the future, ACHD Planning Review will review the site plan and may require additional improvements to the transportation system at that time. Any change in the planned use of the property which is the subject of this application, shall require the applicant to comply with ACHD Policy and Standard Conditions of Approval in place at that time unless a waiver/variance of the requirements or other legal relief is granted by the ACHD Commission.

Request for Appeal of Staff Decision

- 1. Appeal of Staff Decision:** The Commission shall hear and decide appeals by an applicant of the final decision made by the Development Services Manager when it is alleged that the Development Services Manager did not properly apply this section 7101.6, did not consider all of the relevant facts presented, made an error of fact or law, abused discretion or acted arbitrarily and capriciously in the interpretation or enforcement of the ACHD Policy Manual.
 - a. Filing Fee:** The Commission may, from time to time, set reasonable fees to be charged the applicant for the processing of appeals, to cover administrative costs.
 - b. Initiation:** An appeal is initiated by the filing of a written notice of appeal with the Secretary of Highway Systems, which must be filed within ten (10) working days from the date of the decision that is the subject of the appeal. The notice of appeal shall refer to the decision being appealed, identify the appellant by name, address and telephone number and state the grounds for the appeal. The grounds shall include a written summary of the provisions of the policy relevant to the appeal and/or the facts and law relied upon and shall include a written argument in support of the appeal. The Commission shall not consider a notice of appeal that does not comply with the provisions of this subsection.
 - c. Time to Reply:** The Development Services Manager shall have ten (10) working days from the date of the filing of the notice of appeal to reply to the notice of the appeal, and may during such time meet with the appellant to discuss the matter, and may also consider and/or modify the decision that is being appealed. A copy of the reply and any modifications to the decision being appealed will be provided to the appellant prior to the Commission hearing on the appeal.
 - d. Notice of Hearing:** Unless otherwise agreed to by the appellant, the hearing of the appeal will be noticed and scheduled on the Commission agenda at a regular meeting to be held within thirty (30) days following the delivery to the appellant of the Development Services Manager's reply to the notice of appeal. A copy of the decision being appealed, the notice of appeal and the reply shall be delivered to the Commission at least one (1) week prior to the hearing.
 - e. Action by Commission:** Following the hearing, the Commission shall either affirm or reverse, in whole or part, or otherwise modify, amend or supplement the decision being appealed, as such action is adequately supported by the law and evidence presented at the hearing.



CENTRAL DISTRICT HEALTH DEPARTMENT
Environmental Health Division

Return to:

- ACZ
- Boise
- Eagle
- Garden City
- Kuna
- Meridian
- Star

Rezone # _____

Conditional Use # 201503799-CU/MSP

Preliminary / Final / Short Plat _____

Sect. 1

- 1. We have No Objections to this Proposal.
- 2. We recommend Denial of this Proposal.
- 3. Specific knowledge as to the exact type of use must be provided before we can comment on this Proposal.
- 4. We will require more data concerning soil conditions on this Proposal before we can comment.
- 5. Before we can comment concerning individual sewage disposal, we will require more data concerning the depth of:
 - high seasonal ground water waste flow characteristics
 - bedrock from original grade other _____
- 6. This office may require a study to assess the impact of nutrients and pathogens to receiving ground waters and surface waters.
- 7. This project shall be reviewed by the Idaho Department of Water Resources concerning well construction and water availability.
- 8. After written approval from appropriate entities are submitted, we can approve this proposal for:
 - central sewage community sewage system community water well
 - interim sewage central water
 - individual sewage individual water
- 9. The following plan(s) must be submitted to and approved by the Idaho Department of Environmental Quality:
 - central sewage community sewage system community water
 - sewage dry lines central water
- 10. This Department would recommend deferral until high seasonal ground water can be determined if other considerations indicate approval.
- 11. If restroom facilities are to be installed, then a sewage system MUST be installed to meet Idaho State Sewage Regulations.
- 12. We will require plans be submitted for a plan review for any:
 - food establishment swimming pools or spas child care center
 - beverage establishment grocery store
- 13. Infiltration beds for storm water disposal are considered shallow injection wells. An application and fee must be submitted to CDHD.

14. No objection if connected to City
Sewer

Reviewed By: [Signature]
 Date: 10/29/15



Planning & Development Services

Boise City Hall, 2nd Floor
150 N. Capitol Boulevard
P. O. Box 500
Boise, Idaho 83701-0500

Phone: 208/384-3830
Fax: 208/384-3753
TDD/TTY: 800/377-3529
Website: www.cityofboise.org/pds

DATE: November 20, 2015

Diana Sanders, Associate Planner
Ada County Development Services Department
200 W Front Street
Boise ID 83702

RE: Ada County Referral #201503799-CU-MSP – 6400 S. Maple Grove Rd.

Dear Ms. Sanders,

The above case is found in the Southwest Planning Area with an Office Land Use designation in the *Blueprint Boise Comprehensive Plan*. It resides in the LO Zone, in which this use is allowed with a conditional use permit. The 6.14 acre property is vacant, and has been agricultural land. It is part of the Moonridge 12 Subdivision. It has sewer service to the site, and is entitled to connection in accordance with Boise Public Works Policies.

The Office land use designation in *Blueprint* advocates a mix of uses where the project is not an infill circumstance, like this proposal. It is also within the Neighborhood Activity Center designation that includes this definition:

Neighborhood Activity Centers are intended to serve one or more neighborhoods and are characterized by small-scale retail and service uses that may include mixed-use or attached housing opportunities. These centers are characterized by a compact scale and pedestrian-friendly design that encourages pedestrian access from adjacent neighborhoods.

The comprehensive plan includes a policy recommending design principles for mixed use principles for neighborhood activity centers. The proposed landscaping and building design are consistent with those design principles, given the type of use. The landscaped berm, tree plantings, building pattern modulation, and building setbacks all contribute to a design that is acceptable for the use.

EXHIBIT 16
201503799 CU-MSP
TS.SB.LLC

While the proposed use is not an ideal fit for the comprehensive plan policies pertaining to the Office Land Use designation. It complies with Ada County Zoning, and would provide a viable service for the neighborhood. Given the site history, and, the development potential of nearby parcels, the proposed self-storage facility and office uses are found to be in compliance with the *Boise Comprehensive Plan*.

The adjacent parcel to the north is under the same ownership as the proposed properties. The Boise City expectations for that parcel, and the parcel on the northwest corner of Lake Hazel and Maple Grove should closely conform to the *Comprehensive Plan* policies for a neighborhood activity center, and should develop in a neighborhood/pedestrian friendly manner.

Sincerely,

Bruce Eggleston, AICP
Comprehensive Planning
Boise City Planning and Development Services Department